

FINAL ENGINEERING PLANS

REBAR COMMERCIAL BUILDING AT

MCCORD SQUARE

MCCORDSVILLE, IN 46055

UTILITY AND GOVERNING AGENCY CONTACTS

SERVICE / JURISDICTION	COMPANY / DEPT.	ADDRESS	PHONE NUMBER	CONTACT
SANITARY SEWER	MCCORDSVILLE PUBLIC WORKS	6280 W 800 N MCCORDSVILLE, IN 46055	(317) 335-3493	MARK WITSMAN
WATER	CITIZENS ENERGY GROUP/CWA AUTHORITY, INC	2150 DR MARTIN LUTHER KING JR ST., INDIANAPOLIS, IN 46202	(317) 927-4351	BRAD HOSTETLER
STREETS	MCCORDSVILLE PUBLIC WORKS	6280 W 800 N MCCORDSVILLE, IN 46055	(317) 335-3493	RON CRIDER
STORM SEWER	MCCORDSVILLE PUBLIC WORKS	6280 W 800 N MCCORDSVILLE, IN 46055	(317) 335-3493	RON CRIDER
ELECTRICITY	DUKE ENERGY SERVICE AND INSTALLATION DEPT.	2727 CENTRAL AVE. COLUMBUS, IN 47201	(317) 774-0246	RYAN DAUGHERTY
NATURAL GAS	CENTERPOINT ENERGY	101 W OHIO ST, INDIANAPOLIS, IN 46204	(800) 227-1376	DAVID SHERRY
TELEPHONE / COMMUNICATIONS	NINESTAR CONNECT	2243 E MAIN ST GREENFIELD, IN 46140	(317) 323-2081	JASON WARRICK
PLANNING & ZONING	MCCORDSVILLE PLANNING AND BUILDING DEPARTMENT	6280 W 800 N MCCORDSVILLE, IN 46055	(317) 335-3604	RYAN CRUM

PROJECT TEAM

ROLE	COMPANY	ADDRESS	PHONE NUMBER	CONTACT
DEVELOPER/OWNER	REBAR COMMERCIAL, LLC	8700 NORTH ST., STE 120, FISHERS, IN 46038	(317) 670-7997	SHELBY BOWEN
CIVIL ENGINEER	KIMLEY-HORN & ASSOCIATES, INC.	500 E. 96TH ST., STE 300, INDIANAPOLIS, IN 46240	(317) 218-9560	KARMEN DEATON, PE
LANDSCAPE ARCHITECT	KIMLEY-HORN & ASSOCIATES, INC.	500 E. 96TH ST., STE 300, INDIANAPOLIS, IN 46240	(317) 218-9560	MICHELE DYER, PLA
LAND SURVEYOR	CENTRAL STATES CONSULTING, LLC	23-B NORTH GREEN STREET, BROWNSBURG, IN 46112	(317) 858-8662	DONALD R. MOSSON

LEGAL DESCRIPTION

LOT 2 OF MCCORD SQUARE PHASE TWO PLAT, MCCORDSVILLE, INDIANA, RECORDED AS INSTRUMENT NUMBER 202309145 IN THE HANCOCK COUNTY RECORDERS OFFICE.

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IR 1	IRRIGATION PLAN
IR 2	IRRIGATION DETAILS
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LOCATION MAP

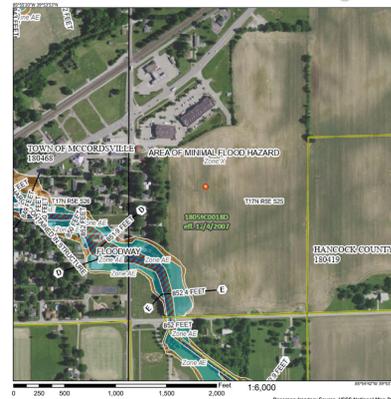
(NOT TO SCALE)



HANCOCK COUNTY

CONSTRUCTION OF A ±3,800 SF 2-STORY COMMERCIAL BUILDING ON ±0.2 AC. PROJECT IS IN SECTION 25 OF T17N, R5E IN THE TOWN OF MCCORDSVILLE, HANCOCK COUNTY, INDIANA.

National Flood Hazard Layer FIRMette

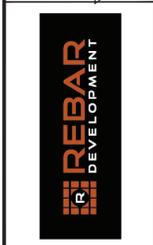


NO.	REVISIONS	DATE	BY
1	TAC COMMENTS	4/19/2024	KED
2	TAC COMMENTS	6/03/2024	KED

Kimley-Horn
 ©2024 KIMLEY-HORN AND ASSOCIATES, INC.
 500 EAST 96TH STREET, SUITE 300,
 INDIANAPOLIS, IN 46240
 WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
 DESIGNED BY: KED
 DRAWN BY: KED
 CHECKED BY: WAB

WILLIAM A. BOWEN
 REGISTERED PROFESSIONAL ENGINEER
 NOT APPROVED FOR CONSTRUCTION



TITLE SHEET

REBAR COMMERCIAL BUILDING AT MCCORD SQUARE

ORIGINAL ISSUE: 02/09/2024
 KHA PROJECT NO. 170046010
 SHEET NUMBER C0.0

Drawing name: K:\IND_LEV\170046010_rebar_development\170046010_rebar_development\C3.0-SITE PLAN.dwg C3.0 Jun 03, 2024 12:50pm by: Kormen Deaton

Indiana Utilities Protection Service
Call 811
 before you dig

GRAPHIC SCALE IN FEET
 0 5' 10' 20'

PAVING LEGEND

	CONCRETE SIDEWALK SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
--	--------------------------------------------------------------------

SITE SUMMARY

SITE ZONING	=	FUD
SITE ACREAGE	=	0.20 AC.±
BUILDING AREA	=	3,980 SF
BUILDING HEIGHT	=	30.5 FT
PARKING SPACES (STANDARD) REQUIRED	=	16 SPACES
PARKING SPACES (ACCESSIBLE) REQUIRED	=	1 SPACES
PARKING SPACES (STANDARD) PROVIDED (EX)	=	36 SPACES
PARKING SPACES (ACCESSIBLE) PROVIDED (EX)	=	2 SPACES
SHARED PARKING SPACES PROVIDED	=	35 SPACES
TOTAL PARKING SPACES PROVIDED	=	73 SPACES

- ### KEY NOTES
- CONCRETE SIDEWALK, TYP. (SEE DETAILS) - ALL ADA DETECTABLE WARNING SURFACES SHALL BE BLACK
 - CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
 - BIKE RACK - SHALL MATCH MASTER PLAN BIKE RACKS
 - BENCH - SHALL MATCH MASTER PLAN BENCHES
 - TRASH RECEPTACLE - SHALL MATCH MASTER PLAN TRASH RECEPTACLES
 - 42" TALL PATIO FENCE - SEE DETAIL ON C7.0

NO.	REVISIONS	DATE	BY
1			
2			
3			
4			
5			
6			

TAC COMMENTS

DESIGNED BY: KED
 DRAWN BY: KED
 CHECKED BY: WAB

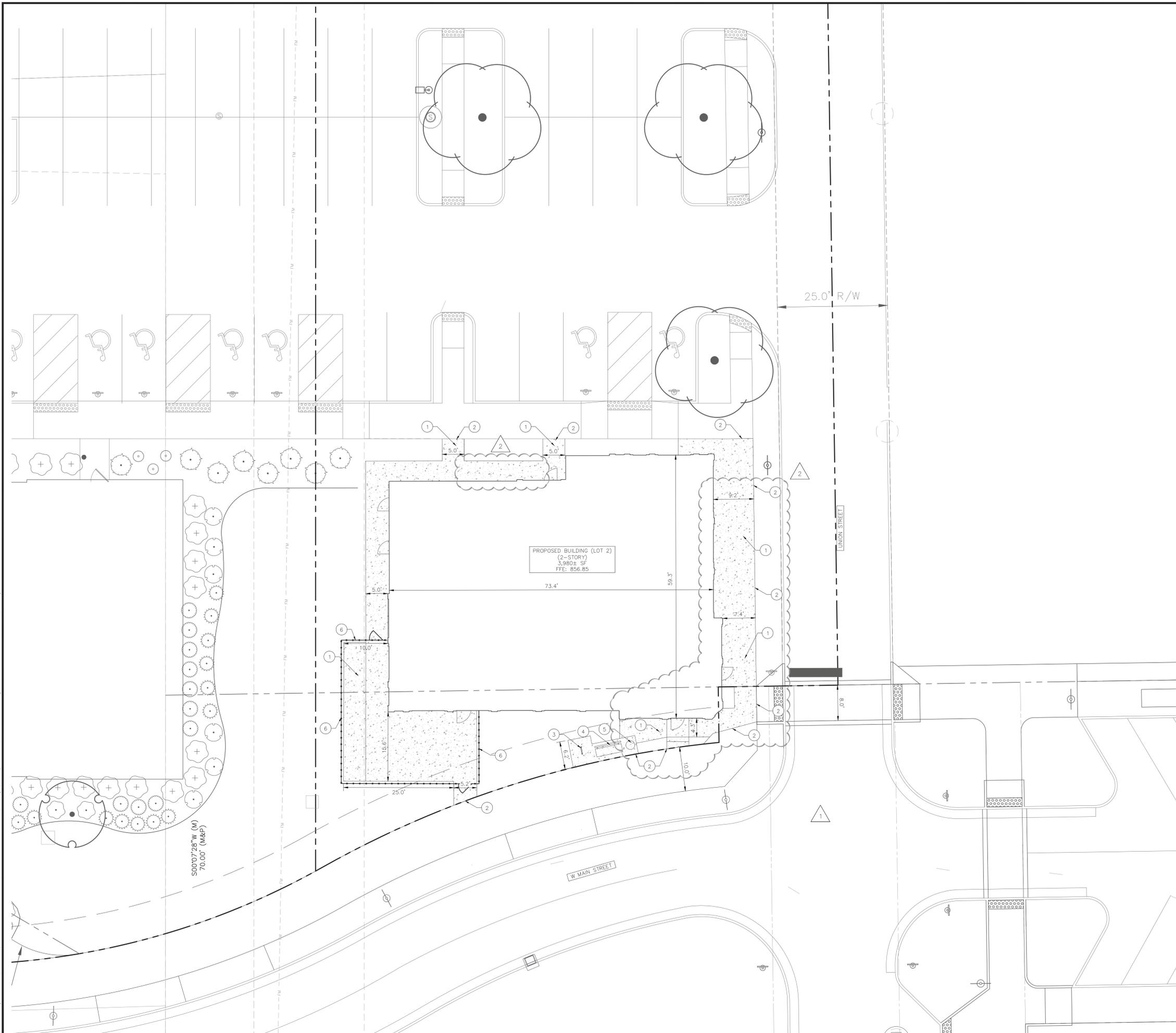
SCALE: AS NOTED

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 500 EAST 96TH STREET, SUITE 300,
 INDIANAPOLIS, IN 46240
 WWW.KIMLEY-HORN.COM



REBAR COMMERCIAL BUILDING AT MCCORD SQUARE

SITE PLAN



BENCHMARKS

ORIGINATING BENCHMARK:
 THE HORIZONTAL AND VERTICAL LOCATION DATA SHOWN ON THIS SURVEY ARE BASED UPON A POSITIONAL SOLUTION DERIVED FROM GLOBAL POSITION SYSTEM (GPS) OBSERVATIONS. THE COORDINATE VALUES SHOWN ARE IN THE INDIANA STATE PLANE COORDINATE SYSTEM (EAST ZONE) REFERENCE TO THE 1983 NORTH AMERICAN DATUM UTILIZING THE CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) ADJUSTMENT AS DETERMINED BY NGS (NAD 82 (CORDS 96)(EPOCH 2002.0000) AND REPORTED ON THE 1988 NORTH AMERICAN VERTICAL DATUM (NAVD88). THIS ORTHOMETRIC ELEVATION WAS COMPUTED USING GEOID18.

SITE BENCHMARKS:
 (LOCATIONS SHOWN ON SURVEY)

SBM #500	N.1750742.79	E.214874.89	ELEVATION=820.77 CUT X SET
SBM #501	N.1750710.19	E.214811.54	ELEVATION=821.26 MAG NAIL PER TIE
SBM #502	N.1750453.49	E.0214843.16	ELEVATION=821.11 CUT X SET
SBM #503	N.1750245.34	E.214833.50	ELEVATION=821.11 CUT X SET

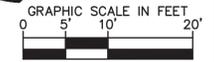
GENERAL PLAN NOTES

REFER TO GENERAL NOTES SHEET FOR MORE INFORMATION INCLUDING THE FOLLOWING: (EXISTING LEGEND, BENCHMARK INFORMATION, AND SPECIFIC GENERAL PLAN NOTES.)

ORIGINAL ISSUE:
 02/09/2024

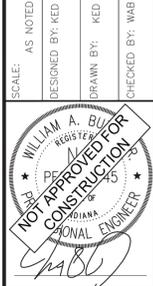
KHA PROJECT NO.
 170046010

SHEET NUMBER
C3.0



DATE	BY	REVISIONS
4/19/2024	KED	
6/03/2024	KED	

AS NOTED
DESIGNED BY: KED
DRAWN BY: KED
CHECKED BY: WAB



REBAR COMMERCIAL BUILDING AT MCCORD SQUARE

ORIGINAL ISSUE: 02/09/2024
KHA PROJECT NO. 170046010
SHEET NUMBER

C5.0

GRADING LEGEND

- XXXX.XX FINISHED GRADE SPOT ELEVATION
- TC XXX.XX TOP OF CURB / BOTTOM OF CURB SPOT ELEVATION
- BC XXX.XX
- FL XXX.XX FLOW LINE SPOT ELEVATION
- ME XXX.XX MATCH EXISTING SPOT ELEVATION
- FF XXX.XX FINISHED FLOOR SPOT ELEVATION
- FG XXX.XX FINISHED GRADE NEAR BUILDING SPOT ELEVATION
- TW XXX.XX TOP OF WALL SPOT ELEVATION
- BW XXX.XX BOTTOM OF WALL SPOT ELEVATION
- R XXX.XX RIM ELEVATION
- STR XX R. XXX.XX STRUCTURE ID & RIM ELEVATION
- STR XX INV XXX.XX STRUCTURE ID & INVERT ELEVATION
- 620 PROPOSED CONTOUR
- RIDGE — RIDGE LINE
- X-XXX SLOPE AND FLOW DIRECTION
- ← 100-YEAR OVERLAND OVERFLOW ROUTE
- ← DETENTION BASIN 100-YEAR EMERGENCY
- ← PROPOSED SWALE
- PROPOSED STORM SEWER
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM/SANITARY CLEANOUT
- PROPOSED WATER STRUCTURES
- PROPOSED LIGHT POLES
- PROPOSED TRANSFORMER PAD

EXISTING LEGEND

- BOLLARD
- CONTROL BENCHMARK
- ROW MONUMENT
- FLAG POLE
- MAIL BOX
- UTILITY POLE
- SOL BORING
- HANDICAP SYMBOL
- SIGN
- CABLE MANHOLE
- CABLE PEDESTAL
- TELEPHONE PEDESTAL
- TELEPHONE HAND HOLE
- TELEPHONE MARKER
- FIBER OPTIC MAKER
- SWALE
- FENCE LINE
- SS SANITARY SEWER
- SD STORM DRAIN
- W WATER LINE
- TREE LINE
- MISC LID
- MONITOR WELL
- GAS MARKER
- GAS METER
- GAS VALVE
- AC UNIT
- ELECTRICAL BOX
- ELECTRICAL HAND HOLE
- ELECTRICAL METER
- ELECTRICAL MANHOLE
- ELECTRICAL MARKER
- ELECTRICAL TRANSFORMER
- GUY POLE/WIRE
- POWER POLE
- TRAFFIC SIGNAL POLE
- TRAFFIC MANHOLE
- YARD LIGHT
- SANITARY CLEANOUT
- SANITARY MANHOLE
- VENT PIPE
- STORM CURB INLET
- STORM INLET
- STORM ROOF DRAIN
- STORM DRAIN MANHOLE
- STORM YARD DRAIN
- FIRE DEPT CONNECTION
- FIRE HYDRANT
- IRRIGATION VALVE
- POST INDICATOR VALVE
- WELL
- WATER METER
- WATER VALVE
- TREE / STUMP
- TOE OF SLOPE
- TB TOP OF BANK
- FIB UNDERGROUND FIBER OPTIC
- OHE OVERHEAD ELECTRICAL
- GAS UNDERGROUND GAS
- TEL UNDERGROUND TELEPHONE

BENCHMARKS

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(LOCATIONS SHOWN ON SURVEY)

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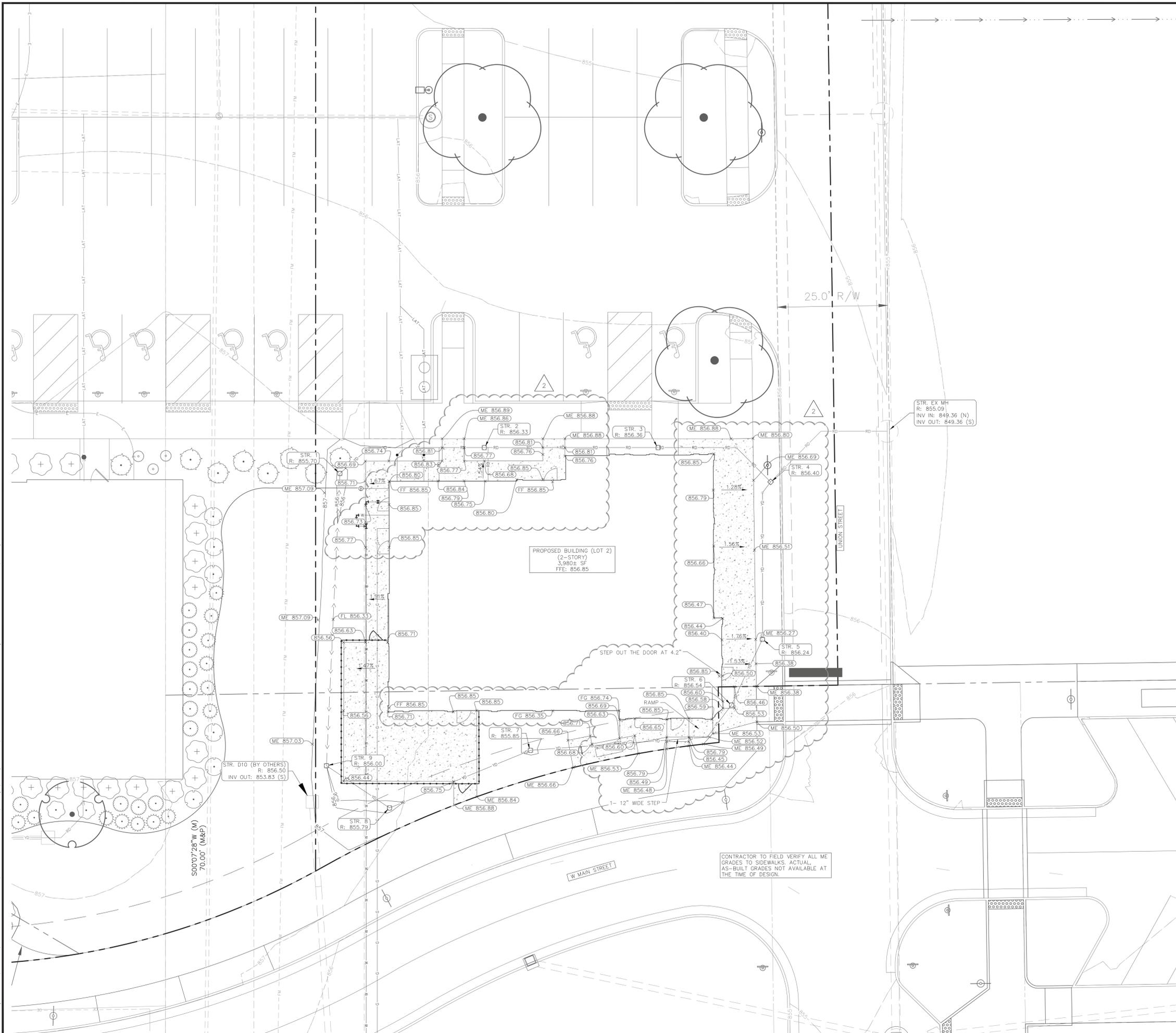
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ELEVATION=821.11 CUT X SET

SBM #503 N.1750245.34, E.214833.50
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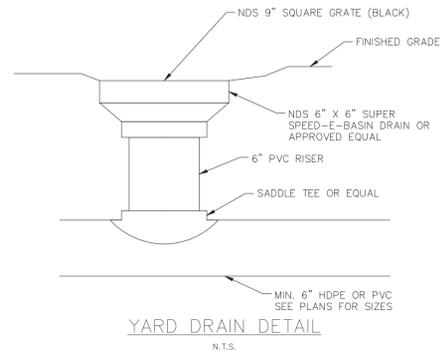
PROPOSED BUILDING (LOT 2)
(2-STORY)
3,980± SF
FFE: 856.85

CONTRACTOR TO FIELD VERIFY ALL ME GRADES TO SIDEWALKS. ACTUAL, AS-BUILT GRADES NOT AVAILABLE AT THE TIME OF DESIGN.

Drawing name: K:\IND_LEVN\170046010_rebar_mccord square north_mccord square north_mccord square north - grading and drainage PLAN.dwg C5.0 Jun 03, 2024 12:29pm by: Kormm, Dorian

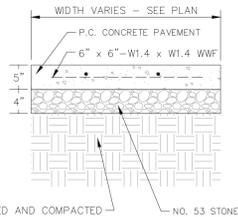
TOWN OF MCCORDSVILLE

1. SEE MCCORDSVILLE, INDIANA TOWN STANDARDS ATTACHED TO END OF THIS PLAN SET FOR ALL APPLICABLE STANDARD DETAILS.



YARD DRAIN DETAIL

N.T.S.



NO. 53 STONE

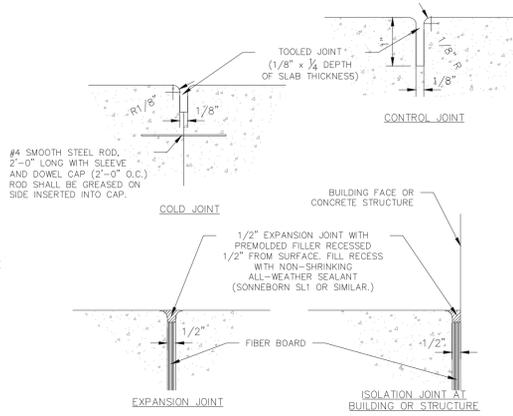
SUBGRADE-SCARIFIED AND COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY

NOTES:

1. ALL SIDEWALK SHALL BE CONSTRUCTED WITH CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 14 DAYS.
2. PROVIDE 1/2" EXPANSION JOINTS AT 20', MAXIMUM, SPACING AND FILLED WITH PREMOLDED BITUMINOUS EXPANSION JOINT FILLER MATERIAL OR REDWOOD. EXPANSION JOINTS SHALL HAVE #4 DOWELS, LUBRICATED, 18" LONG, AT 12" CENTERS, 6" FROM EDGE.
3. PROVIDE 3/8" GROOVED CONTROL JOINTS AT 5' CENTERS.
4. PROVIDE 1/2" BITUMINOUS EXPANSION JOINT FILLER MATERIAL WHERE WALK ABUTS EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE.
5. USE 2-#4 REINFORCING BARS, 10' LONG OVER ALL UTILITY TRENCHES FOR NEW SIDEWALK AND CONNECTIONS TO EXISTING SIDEWALK.
6. AT DRIVE APPROACHES, SIDEWALK PCC AND BASE THICKNESS SHALL MATCH THAT OF THE DRIVE.

CONCRETE SIDEWALK

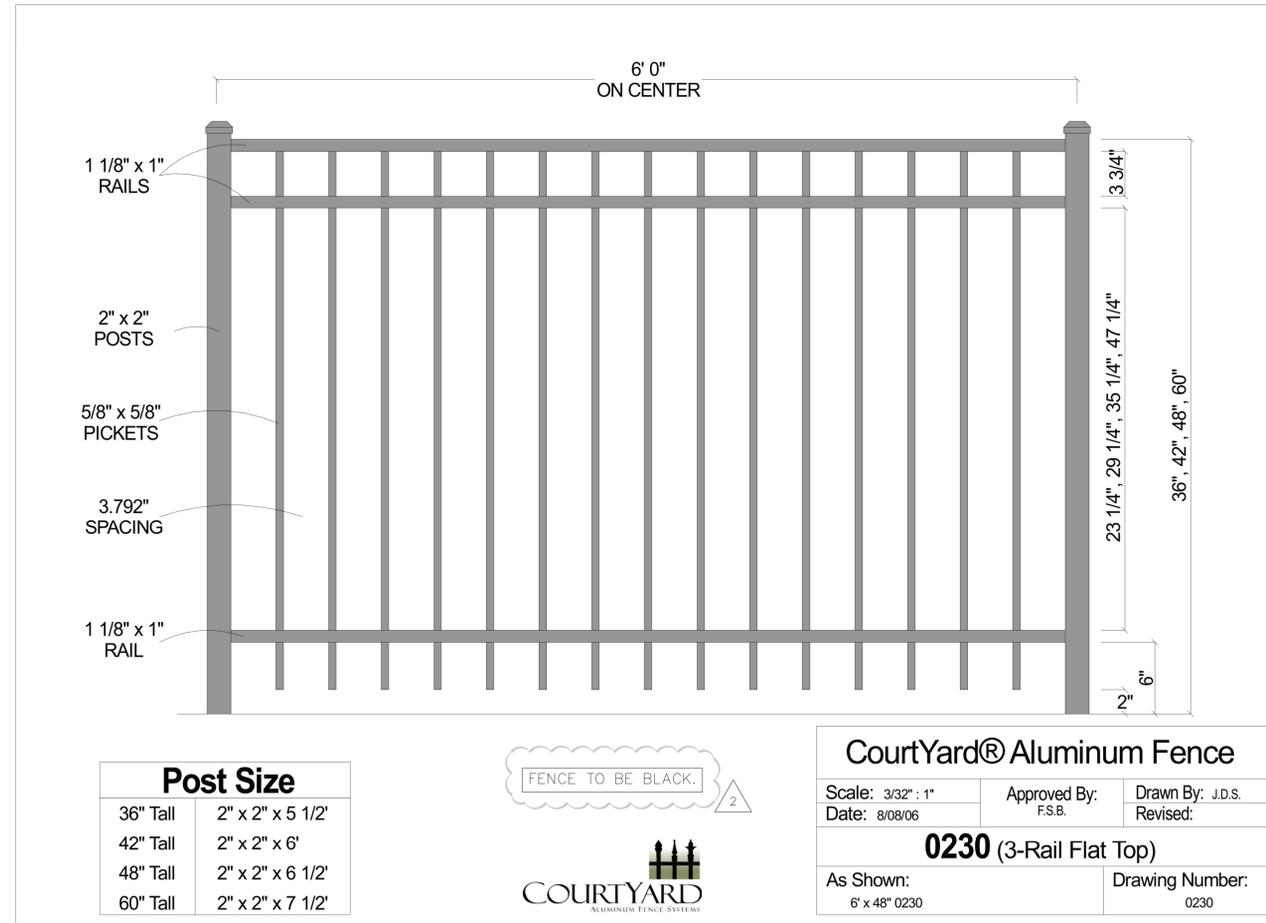
N.T.S.



TYPICAL CONCRETE JOINT DETAILS

N.T.S.

1



Post Size	
36" Tall	2" x 2" x 5 1/2"
42" Tall	2" x 2" x 6"
48" Tall	2" x 2" x 6 1/2"
60" Tall	2" x 2" x 7 1/2"

FENCE TO BE BLACK.



CourtYard® Aluminum Fence

Scale: 3/32" : 1" Approved By: F.S.B. Drawn By: J.D.S.
 Date: 8/08/06 Revised:

0230 (3-Rail Flat Top)

As Shown: 6' x 48" 0230 Drawing Number: 0230

Drawing name: K:\IND_LEV\170046010_rebar_mccord square north_mccordsville.dwg Design:\CAD\Jianhui\170046010_rebar_mccord square north_mccordsville.dwg Date: 03/2024 12:32pm by: Kormin.flores

AS NOTED	DESIGNED BY: KED	DRAWN BY: KED	CHECKED BY: WAB
CONSTRUCTION DETAILS			
REBAR COMMERCIAL BUILDING AT MCCORD SQUARE			
ORIGINAL ISSUE: 02/09/2024			
KHA PROJECT NO. 170046010			
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1		4/19/2024	KED
2		6/03/2024	KED

TAC COMMENTS

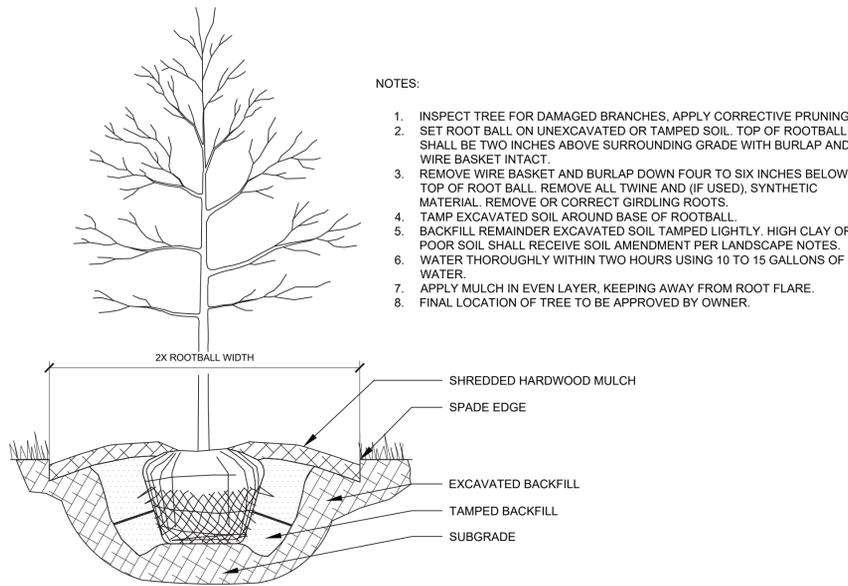
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 500 EAST 86TH STREET, SUITE 300,
 INDIANAPOLIS, IN 46240
 WWW.KIMLEY-HORN.COM



LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND PLANTING.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS, TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
- ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
- PLANTING AREA SOIL SHALL BE TOPSOIL FOR ALL TREE, SHRUB, ORNAMENTAL GRASS, PERENNIAL, AND ANNUAL BEDS. AMENDED SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO A 6" DEPTH BELOW FINISHED GRADE IN TURF AREAS AND A 12" DEPTH IN PLANTING AREAS.
- PLANTING AREA TOPSOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 85% PULVERIZED SOIL. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL. TOPSOIL SHALL CONFORM TO TECHNICAL SPECIFICATIONS FREE OF HEAVY CLAY, ROCKS, AND DIRT CLODS OVER 1 INCH IN DIAMETER, AS WELL AS CONTAIN 3%-5% OF ORGANIC MATTER.
- SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.
- CONTRACTOR SHALL STAKE INDIVIDUAL TREE AND SHRUB LOCATIONS AND OUTLINE HERBACEOUS PLANTING AREAS, SHALL ADJUST LOCATIONS WHEN REQUESTED, AND SHALL OBTAIN PROJECT LANDSCAPE ARCHITECT'S ACCEPTANCE PRIOR TO PLANTING.
- ALL PLANT ID TAGS SHALL BE REMOVED AFTER INSTALLATION.
- CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUND COVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
- WEED FABRIC SHALL BE REQUIRED UNDER MULCH.
- MULCH SHALL NOT BE HELD IN PLACE BY PLASTIC NET, OR SPRAYING OF ANY BINDER MATERIAL OR ASPHALT EMULSION.
- DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
- PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
- THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
- WEEDING, LANDSCAPE MAINTENANCE, AND WATERING TO BE THE CONTRACTOR'S RESPONSIBILITY DURING CONSTRUCTION. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED BY LANDSCAPE CONTRACTOR DURING WARRANTY PERIOD IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.
- THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING AFTER WARRANTY PERIOD EXPIRES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED.
- THE PETITIONER SHALL WORK WITH TOWN STAFF TO CREATE A SET OF CONSISTENT STANDARDS FOR THE FOLLOWING ITEMS, WHICH ARE TO BE USED THROUGHOUT THE REAL ESTATE:
 - SITE LIGHTING FIXTURES AND POLES (THIS DOES NOT INCLUDE STREET LIGHTING WHICH IS ALREADY REGULATED BY THIS PUD)
 - BENCHES
 - BIKE RACKS
 - BOLLARDS
 - TRASH RECEPTACLES
 - TREE GRATES
 - WAYFINDING SIGNAGE
 - PUBLIC PARKING SIGNAGE

ORDINANCE CHART		
ZONING: McCord Square PUD		
REQUIREMENT	REQUIRED	PROVIDED
FOUNDATION PLANTINGS - SECTION E. 1. g.		
<ul style="list-style-type: none"> min 50% evergreen min 30% of each façade must have plantings 	<ul style="list-style-type: none"> min 50% evergreen min 30% of each façade must have plantings 	<ul style="list-style-type: none"> min 50% evergreen min 30% of each façade must have plantings
SITE PLANTING - SECTION E. 1. h.		
<ul style="list-style-type: none"> 1 tree on site 	<ul style="list-style-type: none"> 1 tree on site 	<ul style="list-style-type: none"> 1 tree on site

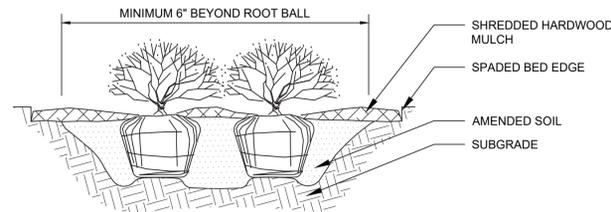


NOTES:

- INSPECT TREE FOR DAMAGED BRANCHES. APPLY CORRECTIVE PRUNING.
- SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
- REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
- TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
- BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
- WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
- APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
- FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.

1 TREE PLANTING

NTS

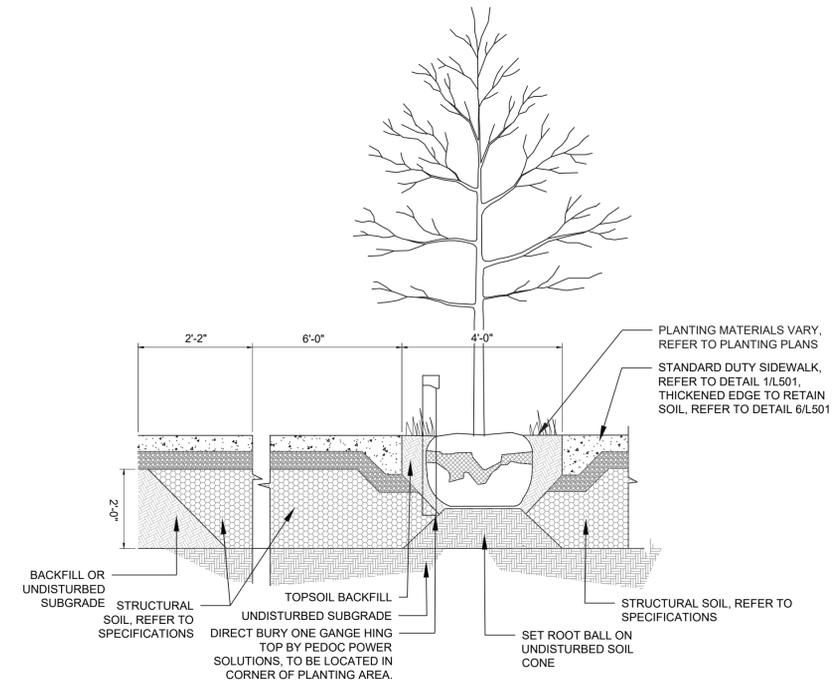


NOTES:

- APPLY CORRECTIVE PRUNING.
- SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
- REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
- REMOVE OR CORRECT GIRDLING ROOTS.
- PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
- APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.

2 SHRUB PLANTING

NTS



3 TREE VAULT

NTS

TAC COMMENTS	4/19/2024	KED
TAC COMMENTS	6/03/2024	KED
REVISIONS	DATE	BY
No.		

AS NOTED
DESIGNED BY: KED
DRAWN BY: KED
CHECKED BY: WAB

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REBAR DEVELOPMENT

LANDSCAPE DETAILS

REBAR COMMERCIAL BUILDING AT MCCORD SQUARE

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L1.1

Drawing name: K:\IND_LDEV\170046010_rebar_mccord square north_mccord square L1.1 Jun 03, 2024 2:33pm by: Michele Dyer

