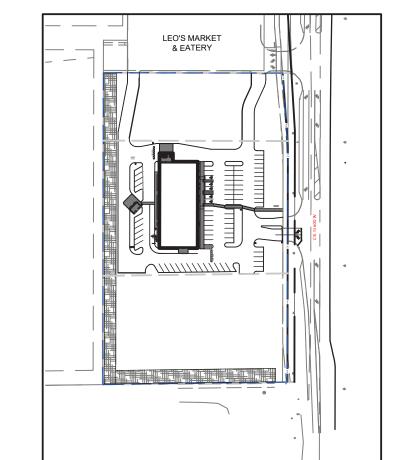
EXISTING CONDITIONS NOTE

CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, INCLUDING UTILITIES AND DRAINAGE INFRASTRUCTURE BEFORE COMMENCING WITH CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.

DEVELOPER: BDC REALTY GROUP, LLC 6274 SOUTH FOX CHASE PENDLETON, INDIANA 46064 ATTN: DAVE CRAVENS (765) 635-5559 **ENGINEER** CIVIL SITE GROUP, INC. 718 ADAMS STRÉET CARMEL, INDIANA 46032

SURVEYOR: CROSSROAD ENGINEERS 3417 Sherman Drive Beech Grove, IN 46107 ATTN: G.W. Charles, PE, PS (317) 780-1555

(317) 810-1677



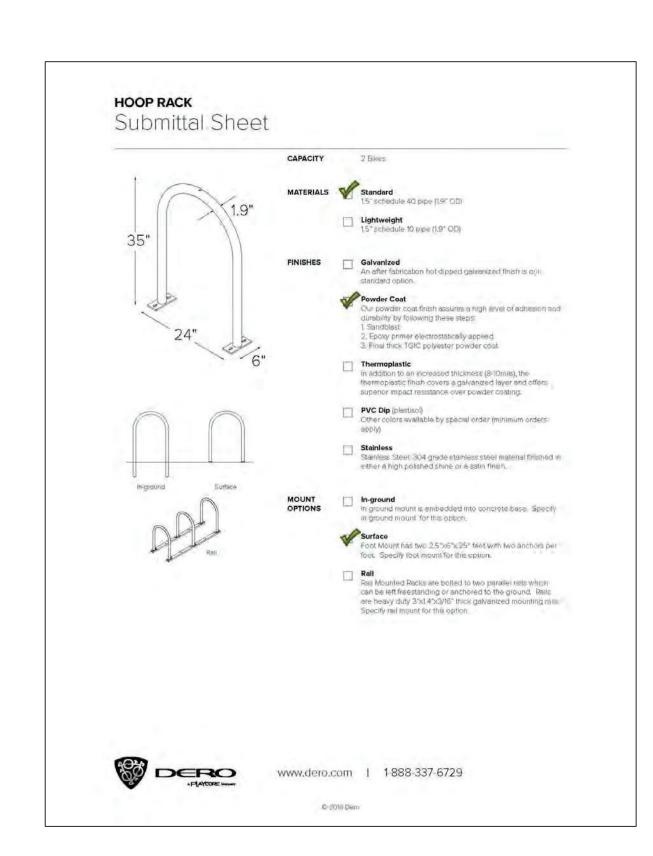
OVERALL SITE PLAN

GRADING & UTILITY NOTE

CONTRACTOR TO VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. PROPOSED DRIVEWAY CUTS MAY REQUIRE EXISTING UTILITY FACILITIES TO BE LOWERED AND/OR RELOCATED IN ORDER TO MAINTAIN MINIMUM STANDARDS OF COVER / VERTICAL SEPARATION, INCLUDING WATER, GAS, POWER, AND TELECOM.

TOWN OF MCCORDSVILLE STANDARDS

CONTRACTOR TO CONSTRUCT ALL APPLICABLE SITE IMPROVEMENTS TO THE TOWN OF



TOPOGRAPHIC & BOUNDARY NOTE

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ALL EXISTING HORIZONTAL AND VERTICAL INFORMATION HAS BEEN SHOWN PER A TOPOGRAPHIC SURVEY DATED 03/11/2024 PREPARED BY CROSSROAD ENGINEERG, P.C.; THEREFORE, CIVIL SITE GROUP, INC. CANNOT BE HELD RESPONSIBLE IF ACTUAL HORIZONTAL AND VERTICAL DATA IS DIFFERENT FROM THAT SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS PRIOR TO COMMENCING WITH CONSTRUCTION.

THIS LOT LIES ENTIRELY IN FLOOD HAZARD ZONE "X" AS SCALED FROM THE FLOOD INSURANCE RATE MAP (FIRM) FOR HANCOCK COUNTY, INDIANA, COMMUNITY NUMBER 180468, MAP NUMBER 18059C0016D, PANEL NUMBER 0016 D, DATED DECEMBER 4, 2007 REFERENCE NFIP FIRM MAP #18059C0016D,

EFFECTIVE DATE: DECEMBER 4, 2007

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FFE=850.0

PROPOSED BUILDING

14,400± G.S.F.

80 TOTAL

PARKING SPACES

ADA DECTABLE WARNING NOTE

ALL TRUNCATED DOME PLATES SHALL BE

BLACK IN COLOR

FLOOD NOTE

NOTE

MONUMENT

REFER TO ARCHITECTURAL & FOUNDATION PLANS FOR ALL BUILDING DIMENSIONS.



(IN FEET)

 $1 \operatorname{inch} = 30 \operatorname{ft}$.

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REVISION RECORD				
REV	DATE	DESCRIPTION	DES BY	APP E
1	07/01/24	REV. PER TAC REVIEW	BSC	BSC

DEVELOPMENT SUMMARY

PROPOSED USE: RETAIL-MEDIUM BUILDING(s) GROSS SQUARE FOOTAGE: = 14,400± S.F. TOTAL SITE AREA = 5.69± Ac. OPEN SPACE AREA = 3.30± Ac. (58% of TOTAL LOT AREA) IMPERVIOUS AREA COVERAGE = 2.39± Ac. (42%) CURRENT ZONING = VILLAGES AT BROOKSIDE PUD-AMENDMENT

PARKING SPACES PROVIDED = 80 PARKING SPACES REQUIRED = 48 (1 SPACE / 300 GSF)

ANTICIPATED CONSTRUCTION START/END DATE:

AUGUST, 2024 / JUNE 2025

LEGEND:

PROPERTY BOUNDARY OR R/W (REFER TO ALTA/NSPS SURVEY) — R/W —

SAWCUT LIMITS (WHERE NECESSARY-TO BE CONFIRMED WITH INDOT INSPECTOR)

OF PARKING SPACES IN ROW LIGHT DUTY ASPHALT PAVEMENT. SEE DETAIL 03/C7.0

1.5" - 110#/SYD. HMA BITUMINOUS SURFACE 9.5mm ON 2" - 330#/SYD. HMA BITUMINOUS INTERMEDIATE 19.0mm ON 6" COMPACTED AGGREGATE #53 BASE ON ENGR. APPROVED GEOGRID** ON COMPACTED SUBGRADE OR TREATED SUBGRADE. ** DESIGNATES CONSTRUCTION ALTERNATE IF DETERMINED IS NEEDED AFTER RESULTS OF SUBGRADE PROOF ROLL

HEAVY DUTY ASPHALT PAVEMENT. SEE DETAIL 02/C7.0 1.5" - 110#/SYD. HMA BITUMINOUS SURFACE 9.5mm ON 3" - 330#/SYD. HMA BITUMINOUS INTERMEDIATE 19.0mm ON 8" COMPACTED AGGREGATE #53 BASE ON ENGR. APPROVED GEOGRID** ON COMPACTED SUBGRADE OR TREATED SUBGRADE.

** DESIGNATES CONSTRUCTION ALTERNATE IF DETERMINED IS NEEDED AFTER RESULTS OF SUBGRADE PROOF ROLL

8" CONC. PAVEMENT ON SUBGRADE TREATMENT TYPE II - (6" COMPACTED COARSE AGGREGATE INDOT #53 STONE) ON COMPACTED SUBGRADE PROPOSED CONCRETE SIDEWALK

PROPOSED CONCRETE PAVEMENT. SEE DETAIL 01/C7.0

PROPOSED PAINTED DIAGONAL STRIPED ISLAND

PLAN NOTES:

6" STRAIGHT CONC. CURB. SEE DETAIL 05/C7.0

1-FOOT WIDE STRAIGHT CONC. CURB ALONG BUILDING WALL 9-INCH WIDE STRAIGHT CONC. CURB ALONG BUILDING WALL

4" OR 6" CONC. FILLED BOLLARD PAINTED YELLOW AS DENOTED SEE DETAIL 17/C7.0 DERO HOOP BIKE RACK HR-FT-EPX BLACK

COMBINED CURB & WALK. SEE DETAIL 04/C7.0 CONCRETE SIDEWALK. SEE DETAIL 07/C7.2

"DO NOT ENTER" SIGN, R5-1 (30"x30")

DETECTABLE WARNING STRIP (COLOR BLACK). SEE DETAIL 06/C7.0

FLUSH WITH PAVEMENT

TYPICAL PARKING SPACE MARKING. SEE DETAILS 08 & 10/C7.0

TRAFFIC SIGNAGE. SEE DETAIL 15 & 16/C7.0

PRECAST CONC. WHEEL STOPS (QTY 5)

TAPER CURB FLUSH INTO WALK/PAVEMENT

TRASH ENCLOSURE. REFER TO ARCH. PLANS FOR DETAILS

STOP SIGN, R1-1 (30"x30") COLORED CONCRETE PAVEMENT (MATCH LEO'S) FOR PEDESTRIAN WALKWAYS: 6" CONC W/ WWF (1.6x1.6), OR F.R.; ON 6" COMP.

#53 STONE; ON COMPACTED SUBGRADE "RIGHT TURN ONLY" SIGN

HI VISIBILITY "PEDESTRIAN CROSSING" SIGN

OUTDOOR SEATING AREA. REFER TO ARCH. PLANS FOR DETAILS

OUTDOOR SEATING FENCING. REFER TO ARCH. PLANS FOR DETAILS

SITE LAYOUT NOTES

1. ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY, OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.

2. ALL PARKING STRIPES ARE TO BE 4" PAINTED WHITE. UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS, OR SPECIFICATIONS. 3. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, FACE OF CURB/SIDEWALK,

RADII TO BACK OF CURB, WHERE APPLICABLE.

4. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BRICK OR FACING MATERIAL, WHERE APPLICABLE. CONTRACTOR TO REFER TO ARCHITECTURAL DRAWINGS FOR ACTUAL BUILDING DIMENSIONS.

. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND ELEVATIONS DURING THE ENTIRE CONSTRUCTION SCHEDULE. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD DIMENSIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.

PROVIDE SMOOTH TRANSITION FROM NEWLY PAVED AREAS TO EXISTING AREAS AS NECESSARY. ALL AREAS WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE FREE OF ALL LOOSE DEBRIS. THE EDGE OF EXISTING ASPHALT PAVEMENT SHALL BE PROPERLY SEALED WITH A TACK COAT MATERIAL IN ALL ASS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO JOIN EXISTING.

7. ALL EXCAVATED AREAS TO BE SEEDED AND/OR SODDED AFTER FINISH GRADING UNLESS OTHERWISE NOTED. ALL NEWLY SODDED/SEEDED AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL. HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION. CONTRACTOR TO SUPPLY STRAW MULCH WHERE GRASS SEED HAS BEEN PLANTED.

8. RESURFACE OR RECONSTRUCT AT LEAST TO ORIGINAL CONDITIONS ALL AREAS WHERE TRAFFIC BY CONTRACTORS, SUBCONTRACTORS OR SUPPLIERS HAVE DAMAGED EXISTING PAVEMENT, LAWNS OR OTHER IMPROVEMENTS DURING CONSTRUCTION, AFTER CONSTRUCTION WORK IS COMPLETE.

9. ALL UTILITY TRENCHES WITHIN 5 FEET OF PAVEMENT SHALL BE COMPLETELY BACKFILLED WITH GRANULAR BACKFILL.

10. ALL RADII INDICATED SHALL BE CONSTRUCTED AS CIRCULAR ARCS.

11. ALL PARKING SPACE DIMENSIONS ARE TO BE 9' WIDE BY 19' DEEP UNLESS OTHERWISE SPECIFIED.

DATE: 06/06/2024

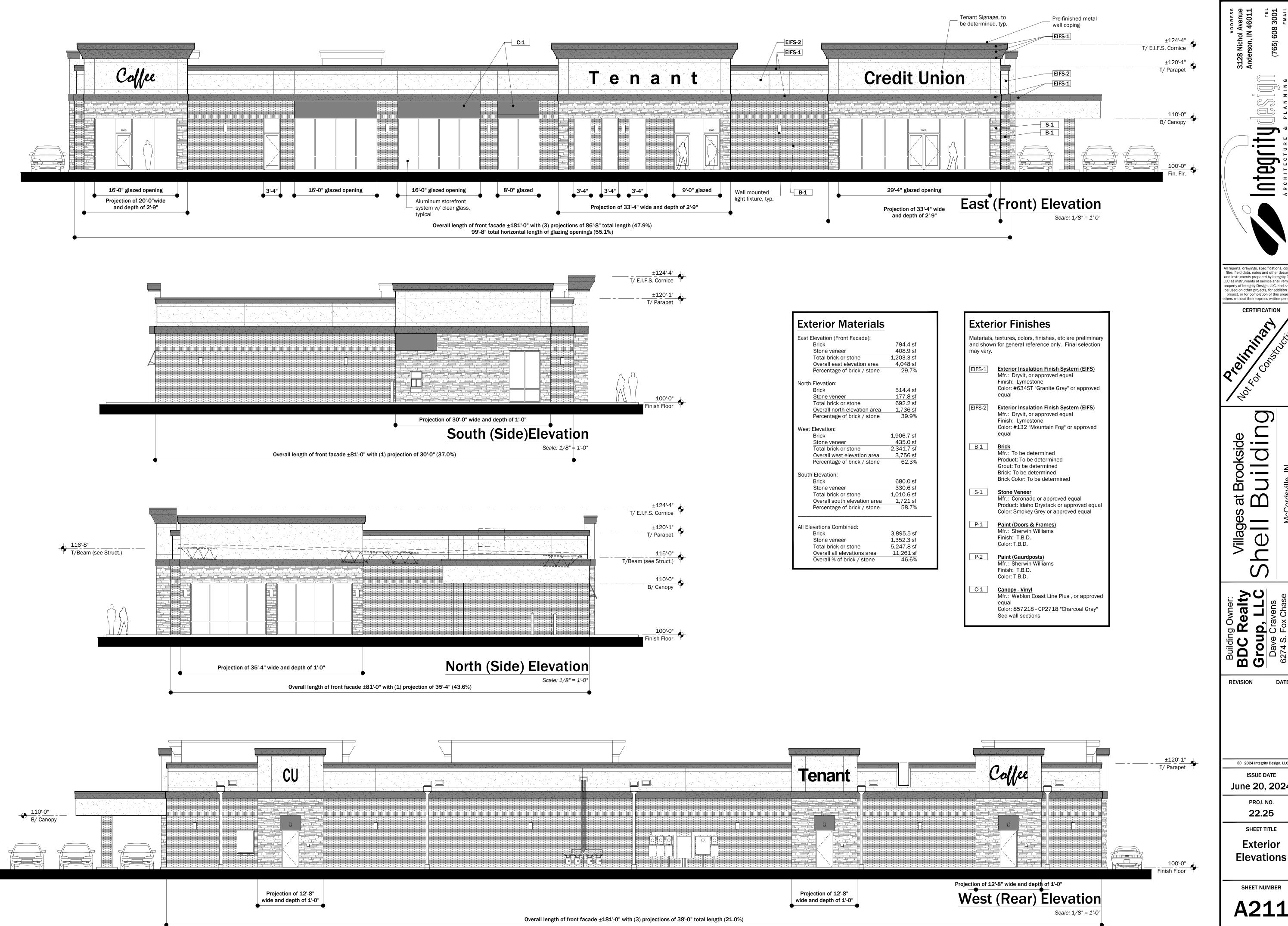
BSC DWN BY: CHKD. BY:

1" = 30'

06/06/24

PROJECT NUMBER BRG.006

DRAWING NUMBER SHEET 2 OF 24



Integrity ARCHITECTURE & All reports, drawings, specifications, compute files, field data, notes and other documents and instruments prepared by Integrity Design LLC as instruments of service shall remain the property of Integrity Design, LLC, and shall not be used on other projects, for addition to this project, or for completion of this project by others without their express written permission CERTIFICATION -

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Building Owner:
BDC Realty
Group, LLC
Dave Cravens
6274 S. Fox Chase
Pendleton, IN 46064

DATE

© 2024 Integrity Design, LLC **ISSUE DATE** June 20, 2024

PROJ. NO.

22.25

SHEET TITLE **Exterior**

SHEET NUMBER

A211

