SUMMERTON AMENITY AREA

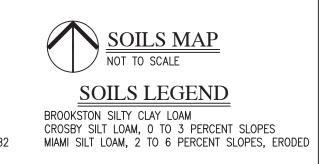
CONSTRUCTION PLANS Lennar Homes of Indiana, LLC

SECTION 4

C.A. "4-E"

C.A."1-B"

SECTION 2





DATE DESCRIPTION BY

LAFAYETTE - MUNCIE - NEW ALBAN'

ADDRESS:

SHEET LIST TABLE

Sheet Title	Sheet Description
C1.0	COVER
C1.1	SITE IMPROVEMENTS PLAN
C1.2	SITE GRADING PLAN
C1.3	PRE-CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN
C1.4	POST CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN
C1.5	SITE UTILITY PLAN
C8.0	STORMWATER POLLUTION PREVENTION NOTES
C8.1-C8.4	STORMWATER POLLUTION PREVENTION DETAILS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE DETAILS
SHEETS 1-10	McCORDSVILLE TOWN STANDARDS

SUMMERTON MCCORDSV SHEETS I-10 MCCORDS VILLE TOWN STANDARDS

McCORDSVILLE TOWN STANDARDS

) -	SHEET LIST TABLE
Sheet Title	Sheet Description
1	DIRECTIONS FOR USE & GENERAL NOTES
2	RIGHT-OF-WAY SECTIONS & PAVEMENT SPECIFICATIONS
3	RIGHT-OF-WAY DETAILS
4	UTILITY LOCATION GUIDELINES
5	DRIVE WAY & HANDICAP RAMP DETAILS
6	STORM SEWER STRUCTURE DETAILS
7	STORM SEWER BEDDING DETAILS AND GENERAL NOTES
8	SANITARY SEWER SPECIFICATIONS
9	SANITARY SEWER DETAILS
10	SANITARY SEWER LIFT STATION STANDARDS & GUIDELINES

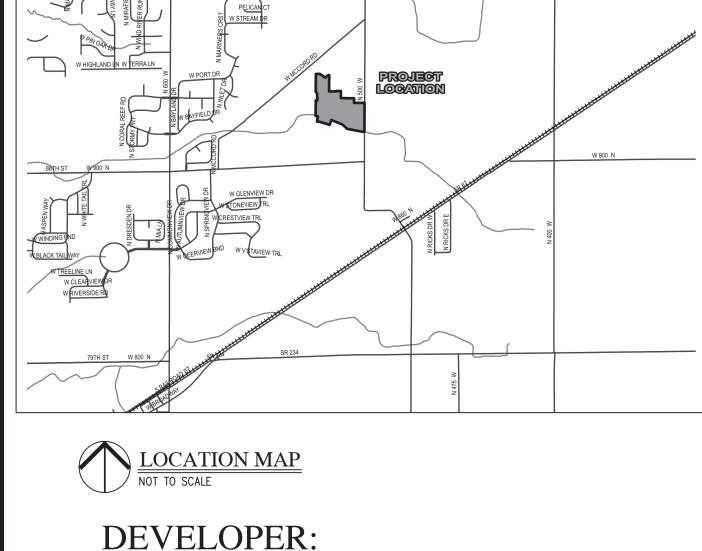
5150 GOLDEN GROVE DRIVE MCCORDSVILLE, IN 46055

Sheet Title	Sheet Description
C1.0	COVER
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C1.2	SITE GRADING PLAN
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C8.1-C8.4	STORMWATER POLLUTION PREVENTION DETAILS
L1.0	LANDSCAPE PLAN

NORTH FORK DRY BRANCH (SCHULTZ & SCHULTZ REGULATED DRAIN)

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6	STORM SEWER STRUCTURE DETAILS
7	STORM SEWER BEDDING DETAILS AND GENERAL NOTES

CHECKED BY APRIL 22, 2024 SCALE AS SHOWN



ERIK ROBINSON LENNAR HOMES OF INDIANA, LLC 11555 N. MERIDIAN ST., SUITE 400 CARMEL, IN 46032 317-659-3200 erik.robinson@lennar.ocm **CIVIL ENGINEER and SURVEYOR: KYLE EICHHORN** HWC ENGINEERING 135 N. PENNSYLVANIA ST., SUITE 2800 INDIANAPOLIS, IN 46204

(317) 347-3663 keichhorn@hwcengineering.com

ZONED SUMMERTON AMENDED PUD ORDINANCE NO. _____ ORDINANCE AMENDING THE TOWN OF McCORDSVILLE ZONING ORDINANCE NO. 121410, AS AMENDED. DEVELOPMENT STANDARDS

MINIMUM LOT AREA 7,200 SQ. FT MINIMUM LOT WIDTH AT BUILDING LINE MINIMUM FRONT YARD SETBACK MINIMUM SIDE YARD SETBACK MINIMUM REAR YARD SETBACK MINIMUM LIVABLE FLOOR AREA 1,500 SF (SINGLE STORY) 1,800 SF (MULTI STORY) MIN. GROUND FLOOR LIVING AREA 900 SF (MULTI STORY) MAXIMUM LOT COVERAGE MAXIMUM HEIGHT - PRINCIPAL

PLAN COMMISSION APPROVAL DRAINAGE APPROVAL ADDRESS APPROVAL EROSION CONTROL APPROVAL COUNTY ENGINEER APPROVAL COUNTY SANITARIAN APPROVAL

COUNTY COMMISSIONERS APPROVAL _____

CR W 900 N

SECTION 5

C.A. "3-A"

CITIZENS ENERGY GROUP/ CWA AUTHORITY, INC. (WATER) BRAD HOSTETLER 2150 DR. MARTIN LUTHER KING JR. STREET INDIANAPOLIS, INDIANA 46202 P: (317) 927-4351 BHOSTETLER@CITIZENSENERGYGROUP.COM

ERIC MEYER (317) 323-2074 2243 East Main Street 6280 W 800 N Greenfield, Indiana 46140 McCordsville, Indiana 46055 EMEYER@NINESTARCONNECT.COM P: (317) 335-3604

CR W 900 N

rcrum@mccordsville.org

ENGINEERING DEPARTMENT 6280 W 800 N McCordsville, IN 46055

CONTACT INFORMATION:

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P: (317) 335-9236

McCordsville, Indiana 46055

C.A. "4-E"

SUMMERTON STREET

C.A."1-A"

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C.A."1-A"

F: (317) 219-5090 PUBLIC WORKS 6280 W 800 N McCordsville, IN 46055 P: (317) 335-3493

<u>COMCAST</u> MATT STRINGER

5330 E. 65th Street

P: (317) 774-3384

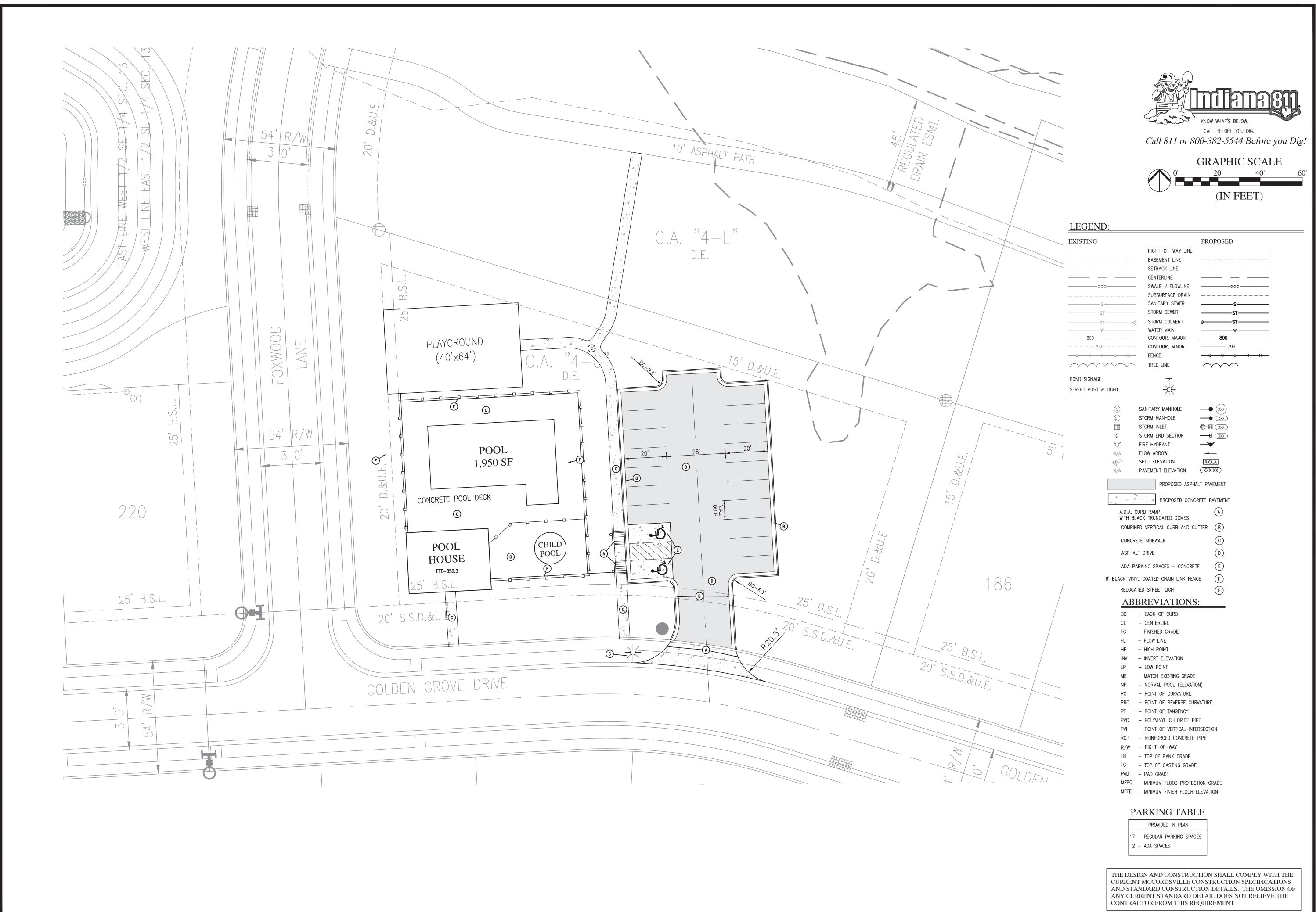
Indianapolis, IN 46220

Noblesville, Indiana 46061 P: (317) 776-5532, F: (317) 776-5553 matthew_stringer@cable.comcast.com Mailing Address: P.O. Box 1700 Noblesville, Indiana 46061 sandra.casey@centerpointenergy.com

16000 Allisonville Road

<u>VECTREN</u> SANDRA CASEY

COVER



REVISIONS						
DATE	DESCRIPTION	BY				
6/4/24	TAC REVIEW	HWC				



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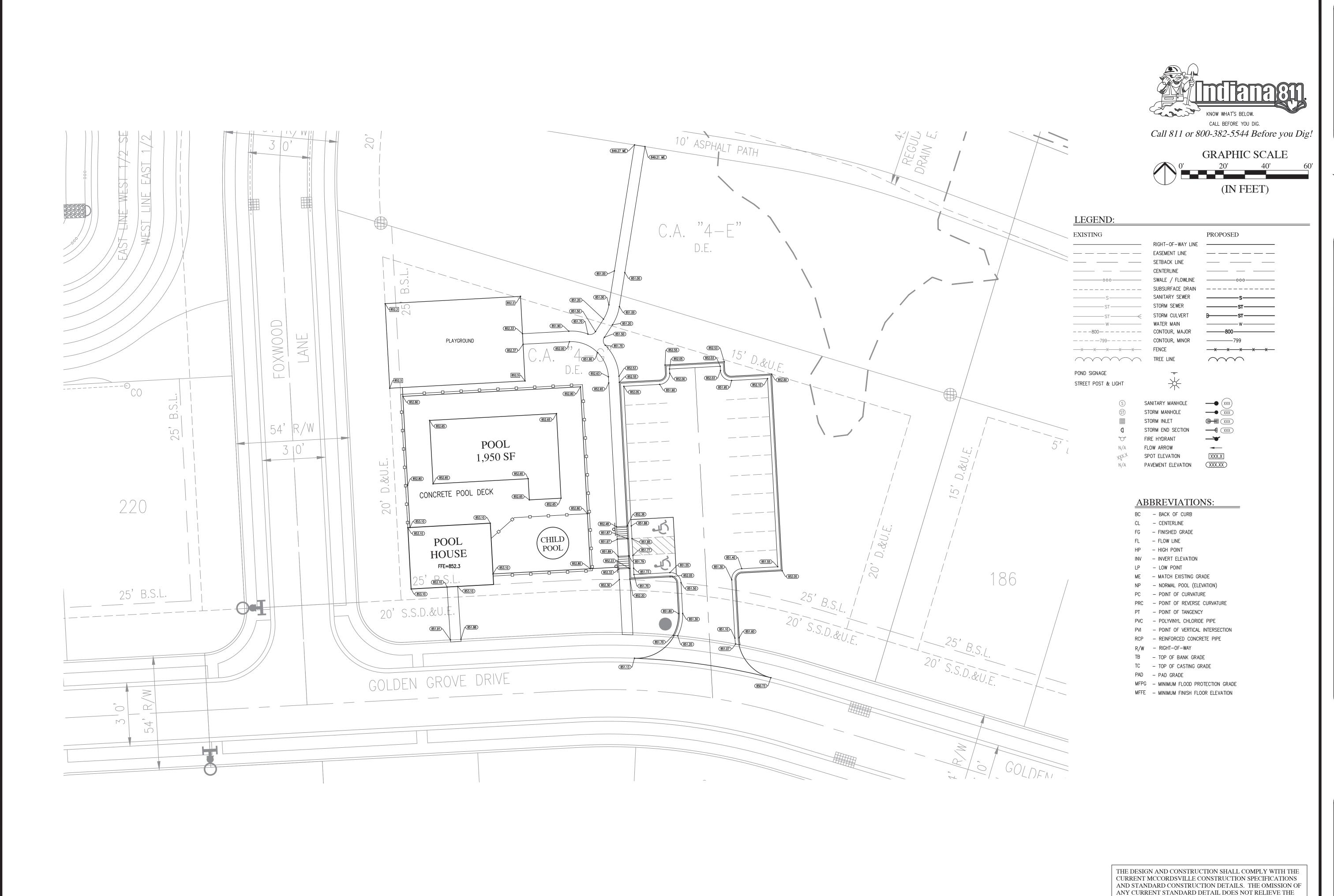
IMPRO'



APRIL 22, 2024 SCALE

AS SHOWN

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS. SITE IMPROVEMENTS PLAN



REVISIONS

DATE DESCRIPTION BY

6/4/24 TAC REVIEW HWC



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> DSVILLE, INDIANA GRADING PLAN

> > SITE

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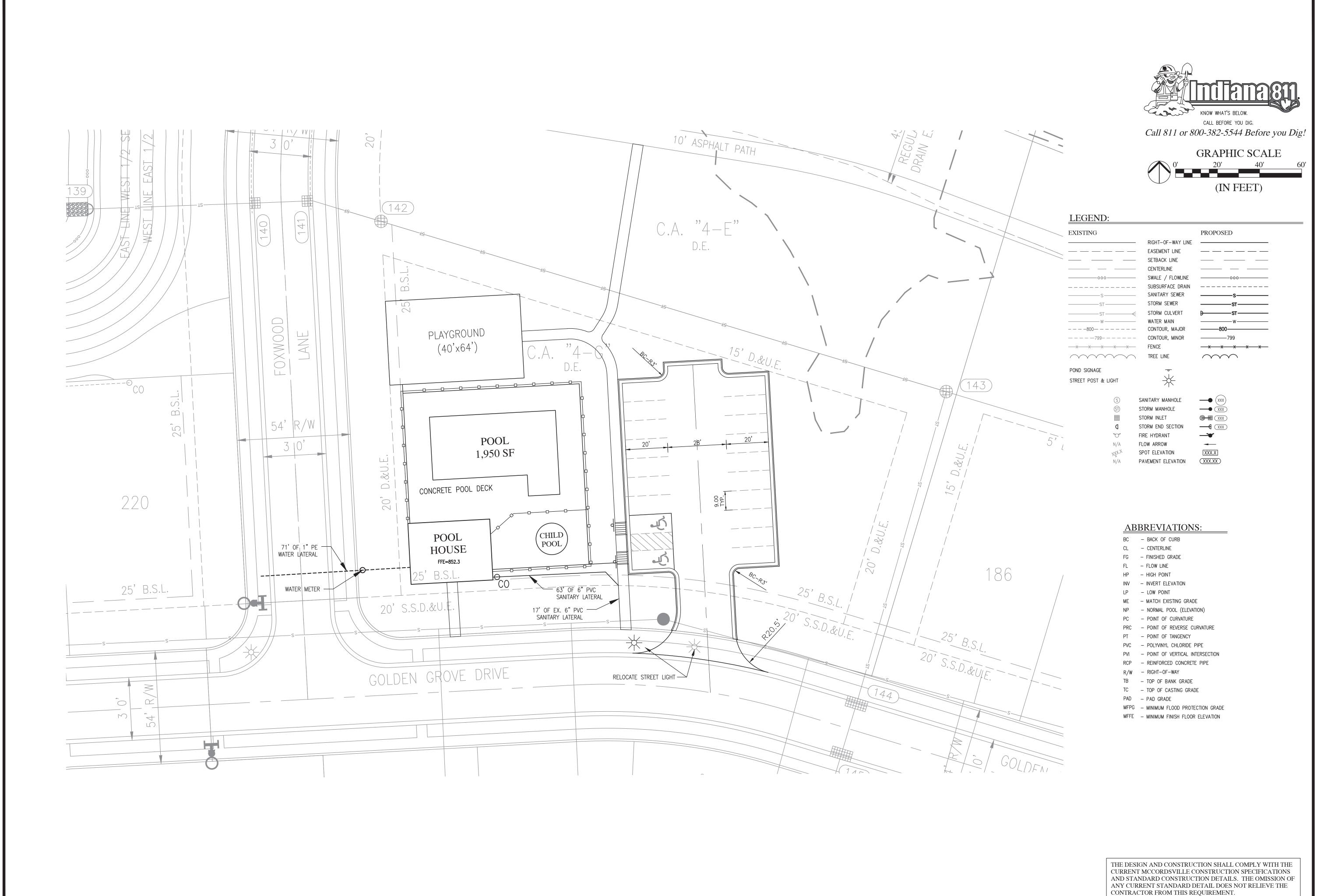
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SHEET

CONTRACTOR FROM THIS REQUIREMENT.

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.

SITE GRADING PLAN

20004



REVISIONS

DATE DESCRIPTION BY

6/4/24 TAC REVIEW HWC



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ORDSVILLE, INDIANAITE UTILITY PLAN

No.

11400758

STATE OF

NO.

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DATE

APRIL 22, 2024

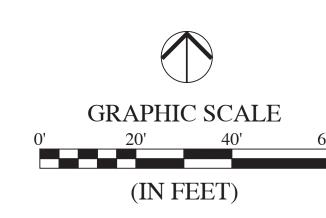
SCALE

AS SHOWN

C1.5

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.





LANDSCAPE LEGEND:

XXX QUANTITY / KEY

SHADE TREE

DECIDUOUS SHRUB

EVERGREEN SHRUB

SPADE EDGE BED LINE SEE PLANTING BED PERIMETER DETAIL FOR INFORMATION

QTY	BOTANICAL NAME	COMMON NAME	CALIPER	HGT	ROOT	SPACING	REMARKS	
REES			_		_			
2	LIQUIDAMBAR STYRACIFLUA 'ROTUNDALOBA'	FRUITLESS SWEETGUM	2"	-	B&B	SEE PLAN	CENTRAL LEADER	
4	QUERCUS IMBRICARIA	SHINGLE OAK	2"	-	B&B	SEE PLAN	CENTRAL LEADER	
72	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA	5 GAL.	24"	CONTAINER	SEE PLAN	FULL IN POT	
+		- 						

LANDSCAPE GENERAL NOTES:

1. NOTIFY THE LANDSCAPE ARCHITECT IF SITE CONDITIONS ARE UNSUITABLE OR OTHER UNFORESEEN CONDITIONS ARE FOUND.

2. CONTRACTOR SHALL LOCATE AND VERIFY EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK, AND SHALL COORDINATE ALL LANDSCAPE WORK WITH CIVIL AND ELECTRICAL DRAWINGS, PROVIDE ADEQUATE MEANS OF PROTECTION OF UTILITIES AND SERVICES DESIGNATED TO REMAIN, AND REPAIR UTILITIES DAMAGED DURING OPERATIONS AT CONTRACTOR'S EXPENSE.

QTY E

59 | ILEX GLABRA 'DENSA'

16 | ITEA VIRGINICA

SHRUBS

- 3. ALL PLANT MATERIAL SHALL BE IN CONFORMANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1 LATEST EDITION.
- 4. ALL LANDSCAPING SHALL BE INSTALLED PER LOCAL ZONING REQUIREMENTS.
- 5. CONTRACTOR IS REQUIRED TO NOTIFY LANDSCAPE ARCHITECT OF ANTICIPATED INSTALLATION DATES ONE WEEK PRIOR TO ARRIVAL OF PLANT MATERIAL ON SITE. THE LANDSCAPE ARCHITECT WILL BE AVAILABLE TO REVIEW AND TAG TREES AT THE NURSERY. THE LANDSCAPE ARCHITECT SHALL INSPECT THE QUALITY OF PLANT MATERIAL ON-SITE BEFORE PLANTS ARE PLACED IN THE GROUND. THE LANDSCAPE ARCHITECT MAY REJECT ANY PLANT MATERIAL, AND IT SHALL BE REPLACED WITH ACCEPTABLE MATERIAL BY THE LANDSCAPE CONTRACTOR.
- 6. NO SUBSTITUTIONS FOR THE SPECIFIED LANDSCAPE MATERIAL ARE ALLOWED UNLESS ACCEPTED IN WRITING BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING

OPERATIONS.

7. CONTRACTOR TO THOROUGHLY WATER ALL PLANT MATERIAL WITHIN SIX (6) HOURS OF INSTALLATION AND AS SPECIFIED THROUGHOUT THE MAINTENANCE PERIOD. THE OWNER IS RESPONSIBLE FOR WATERING PER CONTRACTOR'S WRITTEN MAINTENANCE INSTRUCTIONS THROUGHOUT THE GUARANTEE PERIOD. SEE NOTE 19. FOR MAINTENANCE AND GUARANTEE PERIOD REQUIREMENTS.

24"

5 GAL. 24" CONTAINER

CONTAINER

SEE PLAN

SEE PLAN

8. THE SITE IS TO BE LEFT IN A CLEAN AND NEAT CONDITION AT ALL TIMES.

DENSA COMPACT INKBERRY

VIRGINIA SWEETSPIRE

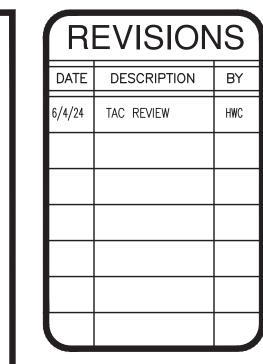
- 9. MULCH: FINELY SHREDDED HARDWOOD BARK, AGED TO BE APPLIED AT A THREE (3) INCH DEPTH FOR ALL PLANTING BEDS AND TREE SAUCERS. RENEWAL OF MULCH DURING THE GUARANTEE PERIOD SHALL BE PERFORMED BY THE OWNER AS NEEDED. SEE NOTE 19. FOR MAINTENANCE AND GUARANTEE PERIOD REQUIREMENTS.ALL INTERIOR PARKING LOT PLANTING AREAS TO RECEIVE MULCH UNLESS NOTED OTHERWISE.
- 10. SEED WITH TURF GRASS/LAWN ALL DISTURBED AREAS NOT SCHEDULED FOR OTHER IMPROVEMENTS.
- 11. ALL PLANTING BEDS WITH ADJOINING LAWN AREAS SHALL BE EDGED WITH A SPADE, UNLESS NOTED OTHERWISE.
- 12. CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUALITY AND QUANTITIES

- SUFFICIENT TO COMPLETE THE PLANTING AS SHOWN ON DRAWINGS. IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE PLANT LIST, THE PLANS SHALL TAKE PRECEDENCE. IF THERE IS A DISCREPANCY BETWEEN THE QUANTITY OF PLAN SYMBOLS AND THE QUANTITY LABEL, THE PLAN SYMBOLS SHALL TAKE PRECEDENCE.
- 13. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ALL PAVEMENT AND ROUGH GRADING HAS BEEN FINISHED AND APPROVED. LANDSCAPE INSTALLATION SHALL NOT BE PHASED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT. ALL PLANT MATERIAL SHALL BE INSTALLED IN ONE MOBILIZATION AT THE END OF THE PROJECT UNLESS OTHERWISE NOTED.
- 14. PRIOR TO PLANTING, THE LOCATIONS OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE.

FULL IN POT

FULL IN POT

- 15. STAKES AND GUY WIRES USED TO SUPPORT PLANTING MATERIALS SHALL BE REMOVED AFTER ONE YEAR.
- 16. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOTBOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING. ALL TWINE OR ROPE SHALL BE REMOVED FROM AROUND CROWN OF TRUNK TO PREVENT GIRDLING OF TREE. ALL PLANTS SHALL BE PLANTED SO THAT THE ROOT CROWN IS PLANTED 1/2 - 1" ABOVE GRADE LEVEL.
- 17. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN THREE VERTICAL
- 18. CONTRACTOR SHALL REPAIR ANY DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- 19. MAINTENANCE PERIOD: CONTRACTOR SHALL BE REPSONSIBLE FOR ALL PLANT MAINTENANCE AND REPLACEMENT THROUGHOUT CONSTRUCTION. UPON RECEIVING WRITTEN ACCEPTANCE FROM THE LANDSCAPE ARCHITECT, CONTRACTOR'S MAINTENANCE PERIOD IS COMPLETE AND GUARANTEE PERIOD BEGINS. OWNER ACCEPTS MAINTENANCE OF PLANTS AND LANDSCAPE BEDS AT START OF GUARANTEE PERIOD PER CONTRACTORS WRITTEN MAINTENANCE INSTRUCTIONS.
- 20. WARRANTY: LANDSCAPE CONTRACTOR SHALL WARRANTY ALL NEW PLANT MATERIAL THROUGH ONE YEAR FROM THE TIME OF WRITTEN ACCEPTANCE BY THE LANDSCAPE ARCHITECT ESTABLISHING THE START OF THE GUARANTEE PERIOD.
- 21. REPLACEMENTS: AT THE CONCLUSION OF THE GUARANTEE PERIOD, THE LANDSCAPE ARCHITECT WILL PERFORM A FINAL INSPECTION. ANY MATERIAL DEEMED DEAD OR UNSATISFACTORY BY THE LANDSCAPE ARCHITECT AT THAT TIME WILL BE REPLACED EQUIVALENT IN SIZE AND SHAPE AT NO COST TO THE OWNER. REPLACEMENT PLANT MATERIAL IS TO BE PROVIDED WITH AN ADDITIONAL ONE—YEAR WARRANTY AND SHALL BE REPLACED IF DEAD, DYING, OR OTHERWISE UNACCEPTABLE TO THE LANDSCAPE ARCHITECT ONE FINAL TIME AT THE CONCLUSION OF THAT PERIOD.





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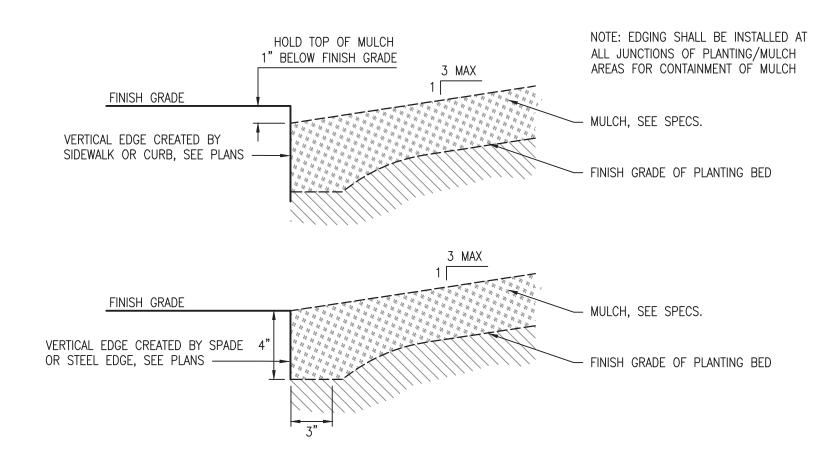
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SCALE AS SHOWN

LANDSCAPE PLAN

APRIL 22, 2024

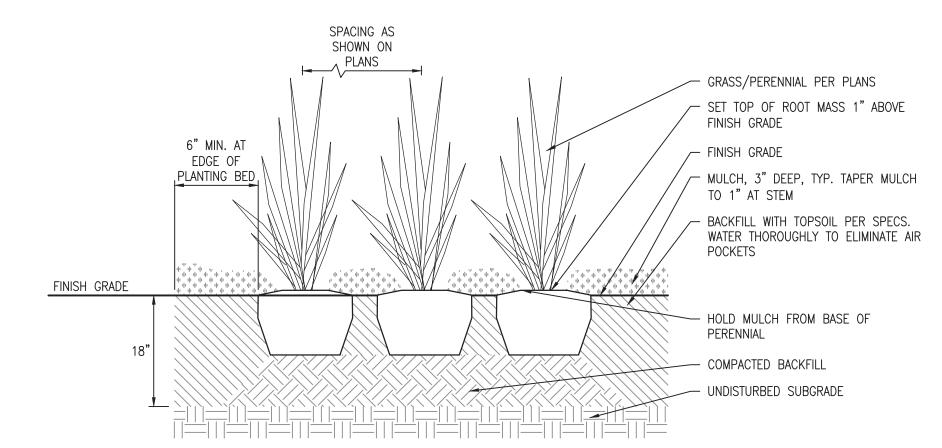
TYPICAL TREE PLANTING DETAIL



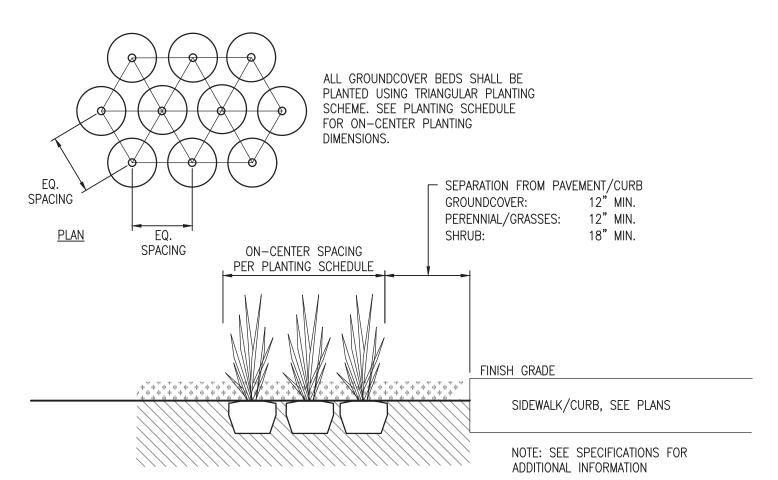
PLANTING BED PERIMETER

LIMIT PRUNING TO DEAD AND BROKEN NOTE: SEE SPECIFICATIONS FOR BRANCHES ADDITIONAL INFORMATION - SET ROOTBALL AT SAME LEVEL AS FINISH GRADE - MULCH, 3" DEEP, TYP. TAPER MULCH TO 1" DEPTH AT TRUCK - FOR MULTIPLE PLANTINGS IN THE SAME BED, PREPARE SHRUB BED SO THAT 2x WIDTH OF ROOTBALL, MIN. FINISH GRADE BETWEEN SHRUBS PROVIDES POSITIVE DRAINAGE FINISH GRADE - BACKFILL PIT WITH PLANTING SOIL PER SPECIFICATIONS - CUT ALL CORDS AROUND ROOTBALL AND TRUCK - SET ROOTBALL ON COMPACTED BACKFILL — UNDISTURBED SUBGRADE

SHRUB PLANTING DETAIL



PERENNIALS & GRASSES DETAIL NOT TO SCALE



5 PLANT LAYOUT

PLANTING NOTES:

- 1. PLANT LOCATION SHALL BE STAKED BY THE CONTRACTOR AND REVIEWED BY THE LANDSCAPE ARCHITECT BEFORE PLANTING OPERATIONS COMMENCE. ADJUST AS REQUESTED TO AVOID UTILITY CONFLICTS.
- 2. NOTE THAT PLANT LIST QUANTITIES ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO SUBMITTING THEIR BID FOR THIS
- 3. ALL PLANT MATERIAL SHALL CONFORM TO ANSI Z60.1 STANDARDS. LANDSCAPE ARCHITECT PRESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING INDUSTRY STANDARDS.
- 4. STREET TREES ARE TO BE SPACED AT 40' O.C., TYPICAL. HOWEVER, TREES WILL WATER MAINS.
- 5. PLANTING BEDS SHALL RECEIVE A 3" LAYER OF SHREDDED BARK MULCH.
- 6. SEED AND STRAW MULCH ALL LAWN AREAS DISTURBED DURING CONSTRUCTION, UNLESS NOTED OTHERWISE.
- 7. REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST FULL GROWING SEASON AFTER PLANTING. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVED STAKING
- 8. EXCAVATION FOR TREE PITS SHALL BE 2.5 TIMES DIAMETER OF ROOT BALL, SET ON

UNDISTURBED SUBBASE.

- 9. REMOVE ALL RIBBONS OR TREE TAGS AFTER APPROVAL BY LANDSCAPE ARCHITECT.
- 10. TREES SHALL BE ALIGNED AND PLUMB AFTER WATERING AND SETTLING.
- 11. PRUNE TREES AS REQUIRED, AND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- 12. STAKING AND GUYING TO BE AT THE DISCRETION OF THE CONTRACTOR. TREES SHALL NOT SWAY EXCESSIVELY.
- 13. TREE SHALL BE TURNED SO BEST SIDE FACES FRONT

NOTE: SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION

- REQUIRED A MINIMUM 10' SEPARATION FROM SANITARY SEWER MAINLINES/LATERALS AND 14. CONTRACTOR SHALL INSTALL TWO REINFORCED RUBBER HOSE SECTIONS WITH A DOUBLE STRAND OF #14 WIRE. WRAP WIRE A MINIMUM OF TWO TIMES AROUND EACH POST.
 - 15. THE FIRST STAKE SHALL BE DIRECTLY SOUTHWEST OF THE TREE TRUNK.

PREPARED BY: HWC ENGINEERING 135 N. PENNSYLVANIA ST., SUITE 2800 INDIANAPOLIS, IN 46204 P: 317-347-3663

DATE | DESCRIPTION | BY 6/4/24 TAC REVIEW



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STATE OF DRAWN BY CHECKED BY APRIL 22, 2024 SCALE

AS SHOWN

LANDSCAPE DETAILS