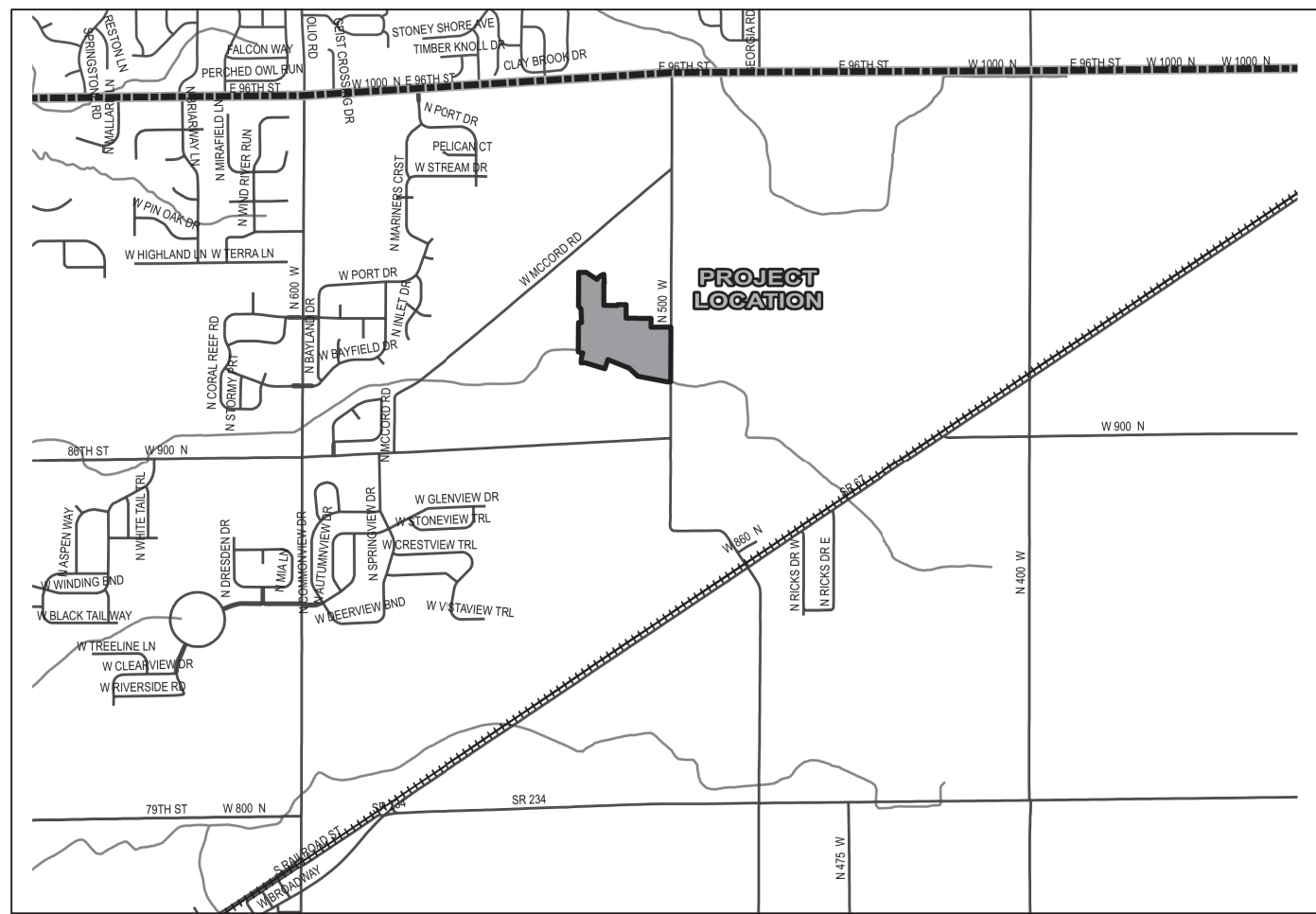


# SUMMERTON AMENITY AREA CONSTRUCTION PLANS

## Lennar Homes of Indiana, LLC



### DEVELOPER:

ERIK ROBINSON  
LENNAR HOMES OF INDIANA, LLC  
11555 N. MERIDIAN ST., SUITE 400  
CARMEL, IN 46032  
317-659-3200  
erik.robinson@lennar.ocm

### CIVIL ENGINEER and SURVEYOR:

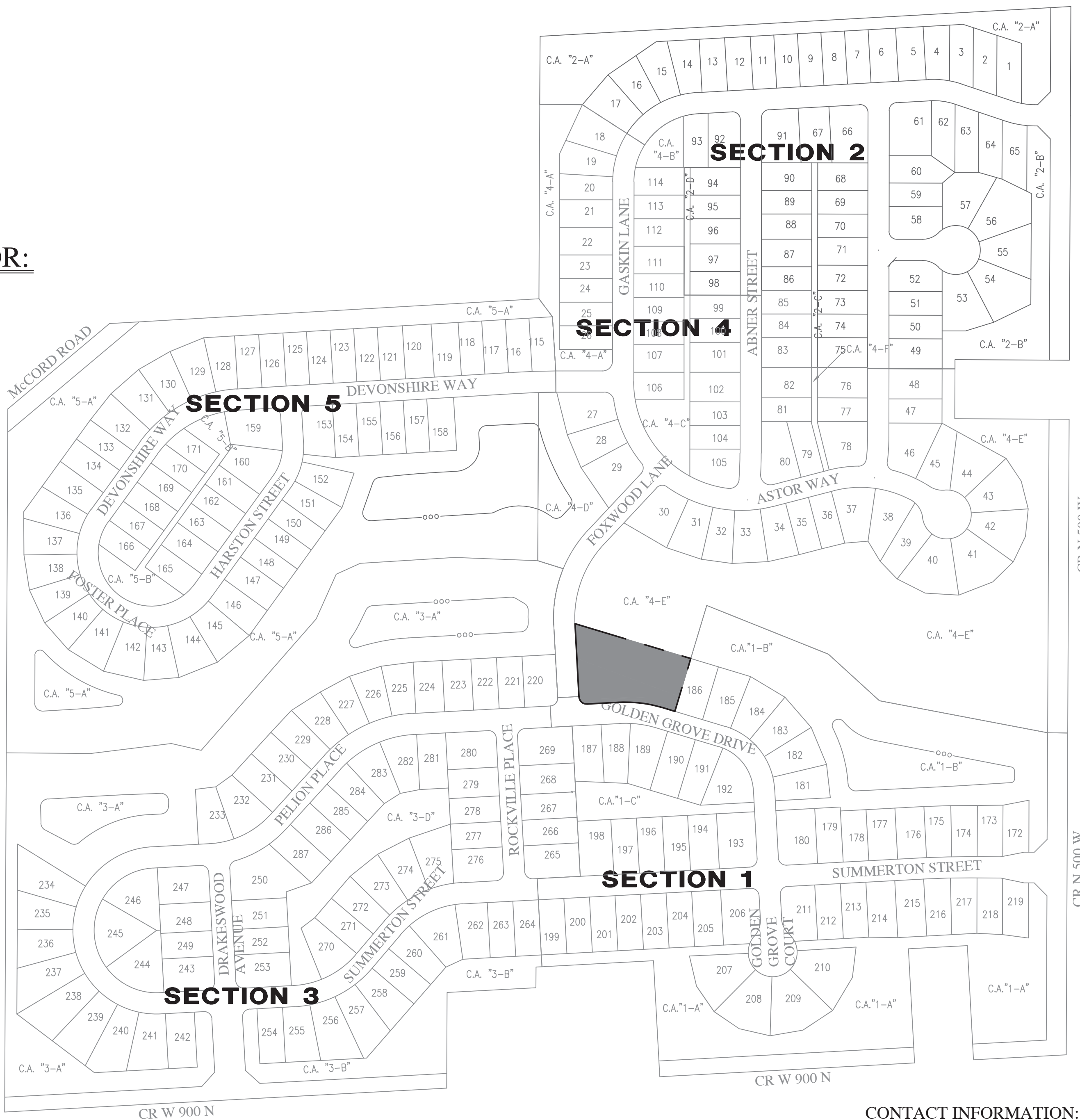
KYLE EICHHORN  
HWC ENGINEERING  
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INDIANAPOLIS, IN 46204  
(317) 347-3663  
keichhorn@hwcengineering.com

ZONED SUMMERTON AMENDED PUD ORDINANCE NO. \_\_\_\_\_, AN  
ORDINANCE AMENDING THE TOWN OF MCCORDSVILLE ZONING  
ORDINANCE NO. 121410, AS AMENDED.  
DEVELOPMENT STANDARDS

#### AREA "A"

MINIMUM LOT AREA	7,200 SQ. FT
MINIMUM LOT WIDTH	60
AT BUILDING LINE	
MINIMUM FRONT YARD SETBACK	25 FEET
MINIMUM SIDE YARD SETBACK	5 FEET
MINIMUM REAR YARD SETBACK	15 FEET
MINIMUM LIVABLE FLOOR AREA	1,500 SF (SINGLE STORY)
	1,800 SF (MULTI STORY)
MIN. GROUND FLOOR LIVING AREA	900 SF (MULTI STORY)
MAXIMUM LOT COVERAGE	60%
MAXIMUM HEIGHT - PRINCIPAL	35 FEET

PLAN COMMISSION APPROVAL	_____
DRAINAGE APPROVAL	_____
ADDRESS APPROVAL	_____
EROSION CONTROL APPROVAL	_____
COUNTY ENGINEER APPROVAL	_____
COUNTY SANITARIAN APPROVAL	_____
COUNTY COMMISSIONERS APPROVAL	_____



### CONTACT INFORMATION:

CITIZENS ENERGY GROUP / CWA AUTHORITY, INC. (WATER)  
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TOWN OF MCCORDSVILLE  
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MCCORDSVILLE FIRE DEPARTMENT  
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TOWN OF MCCORDSVILLE  
ENGINEERING DEPARTMENT  
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COMCAST  
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mattthew\_stringer@cable.comcast.com

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VECTREN  
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Mailing Address: P.O. Box 1700  
Noblesville, Indiana 46061  
sandra.casey@centerpointenergy.com



#### SOILS LEGEND

BR BROOKSTON SILTY CLAY LOAM  
CRA CROSBY SILT LOAM, 0 TO 3 PERCENT SLOPES  
MmB2 MIAMI SILT LOAM, 2 TO 6 PERCENT SLOPES, ERODED



ADDRESS:  
5150 GOLDEN GROVE DRIVE  
MCCORDSVILLE, IN 46055

### SHEET LIST TABLE

Sheet Title	Sheet Description
C1.0	COVER
C1.1	SITE IMPROVEMENTS PLAN
C1.2	SITE GRADING PLAN
C1.3	PRE-CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN
C1.4	POST CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN
C1.5	SITE UTILITY PLAN
C8.0	STORMWATER POLLUTION PREVENTION NOTES
C8.1-C8.4	STORMWATER POLLUTION PREVENTION DETAILS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE DETAILS
SHEETS 1-10	MCCORDSVILLE TOWN STANDARDS

### MCCORDSVILLE TOWN STANDARDS

#### SHEET LIST TABLE

Sheet Title	Sheet Description
1	DIRECTIONS FOR USE & GENERAL NOTES
2	RIGHT-OF-WAY SECTIONS & PAVEMENT SPECIFICATIONS
3	RIGHT-OF-WAY DETAILS
4	UTILITY LOCATION GUIDELINES
5	DRIVE WAY & HANDICAP RAMP DETAILS
6	STORM SEWER STRUCTURE DETAILS
7	STORM SEWER BEDDING DETAILS AND GENERAL NOTES
8	SANITARY SEWER SPECIFICATIONS
9	SANITARY SEWER DETAILS
10	SANITARY SEWER LIFT STATION STANDARDS & GUIDELINES

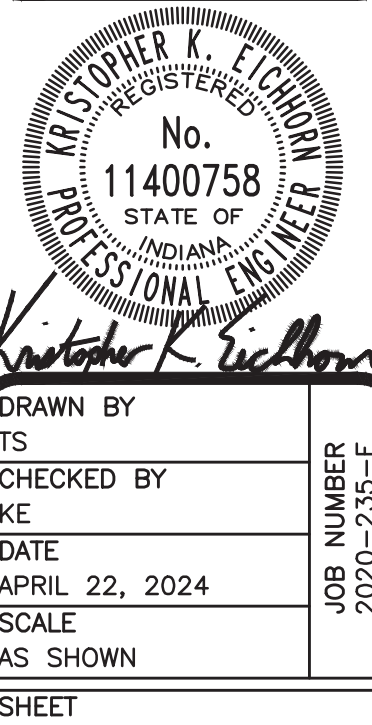
### REVISIONS

DATE	DESCRIPTION	BY
6/4/24	TAC REVIEW	HWC



SUMMERTON AMENITY AREA  
MCCORDSVILLE, INDIANA

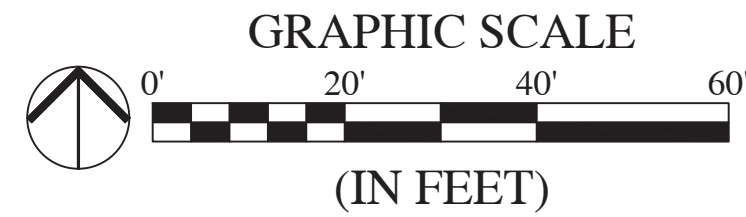
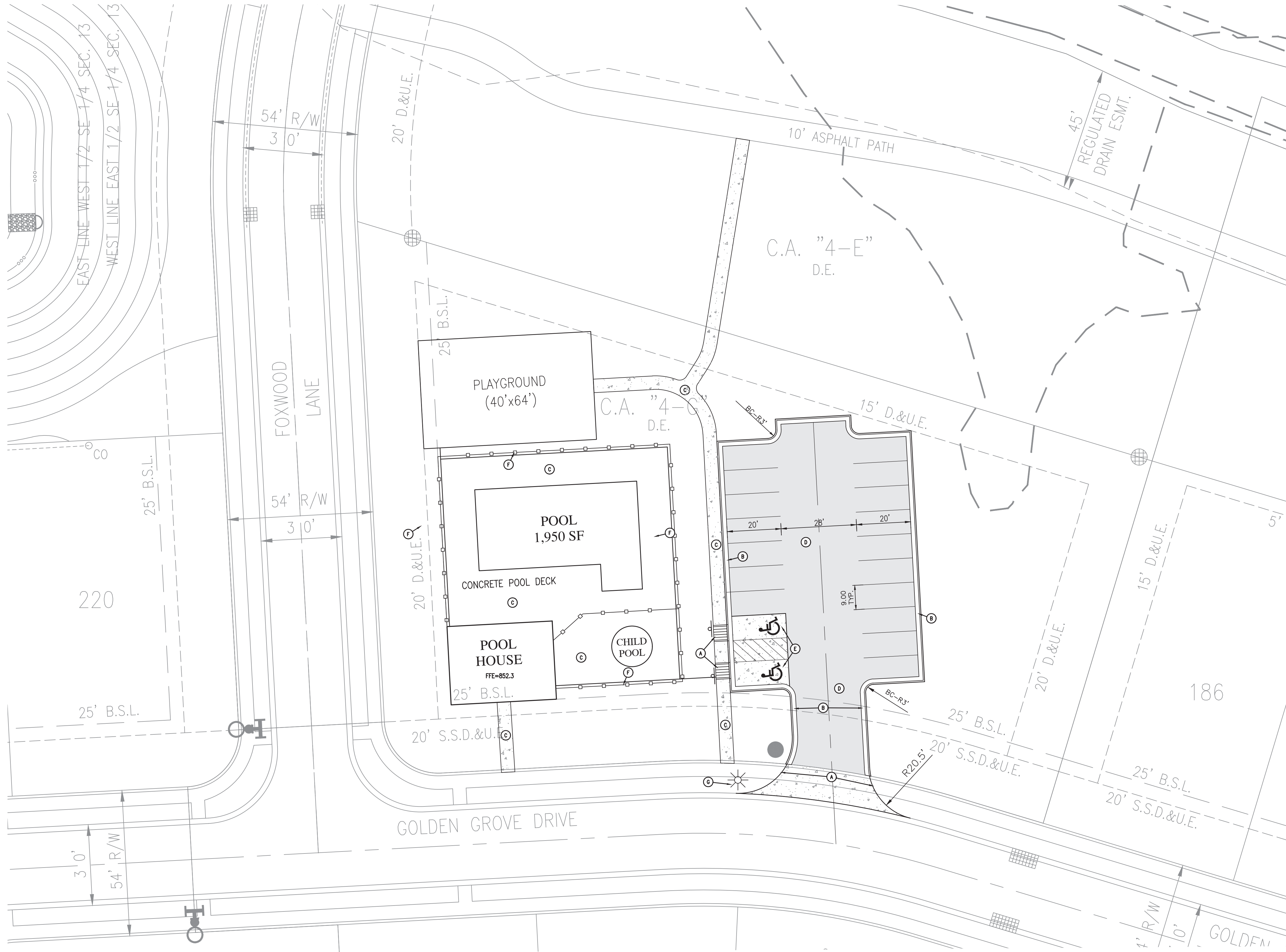
COVER



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DATE APRIL 22, 2024	
SCALE AS SHOWN	
SHEET	

C1.0  
COVER





LEGEND:

EXISTING		PROPOSED
---	RIGHT-OF-WAY LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
---	CENTERLINE	---
---	SWALE / FLOWLINE	---
---	SUBSURFACE DRAIN	---
S	SANITARY SEWER	S
ST	STORM SEWER	ST
ST	STORM CULVERT	ST
W	WATER MAIN	W
-800-	CONTOUR, MAJOR	-800-
-799-	CONTOUR, MINOR	-799-
---	FENCE	---
---	TREE LINE	---
POND SIGNAGE		
STREET POST & LIGHT		

S	SANITARY MANHOLE	XXX
ST	STORM MANHOLE	XXX
ST	STORM INLET	XXX
ST	STORM END SECTION	XXX
F	FIRE HYDRANT	
---	FLOW ARROW	---
XXX.X	SPOT ELEVATION	XXX.X
XXX.XX	PAVEMENT ELEVATION	XXX.XX

	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
A.A.	A.D.A. CURB RAMP WITH BLACK TRUNCATED DOMES
B	COMBINED VERTICAL CURB AND GUTTER
C	CONCRETE SIDEWALK
D	ASPHALT DRIVE
E	ADA PARKING SPACES - CONCRETE
F	6' BLACK VINYL COATED CHAIN LINK FENCE
G	RELOCATED STREET LIGHT

ABBREVIATIONS:

BC	- BACK OF CURB
CL	- CENTERLINE
FG	- FINISHED GRADE
FL	- FLOW LINE
HP	- HIGH POINT
INV	- INVERT ELEVATION
LP	- LOW POINT
ME	- MATCH EXISTING GRADE
NP	- NORMAL POOL (ELEVATION)
PC	- POINT OF CURVATURE
PRC	- POINT OF REVERSE CURVATURE
PT	- POINT OF TANGENCY
PVC	- POLYVINYL CHLORIDE PIPE
PVI	- POINT OF VERTICAL INTERSECTION
RCP	- REINFORCED CONCRETE PIPE
R/W	- RIGHT-OF-WAY
TB	- TOP OF BANK GRADE
TC	- TOP OF CASTING GRADE
PAD	- PAD GRADE
MFGP	- MINIMUM FLOOD PROTECTION GRADE
MFFE	- MINIMUM FINISH FLOOR ELEVATION

PARKING TABLE

PROVIDED IN PLAN
17 - REGULAR PARKING SPACES
2 - ADA SPACES

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE CURRENT MCCORDSVILLE CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS. THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT.

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.

REVISIONS		
DATE	DESCRIPTION	BY
6/4/24	TAC REVIEW	HWC



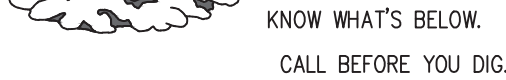
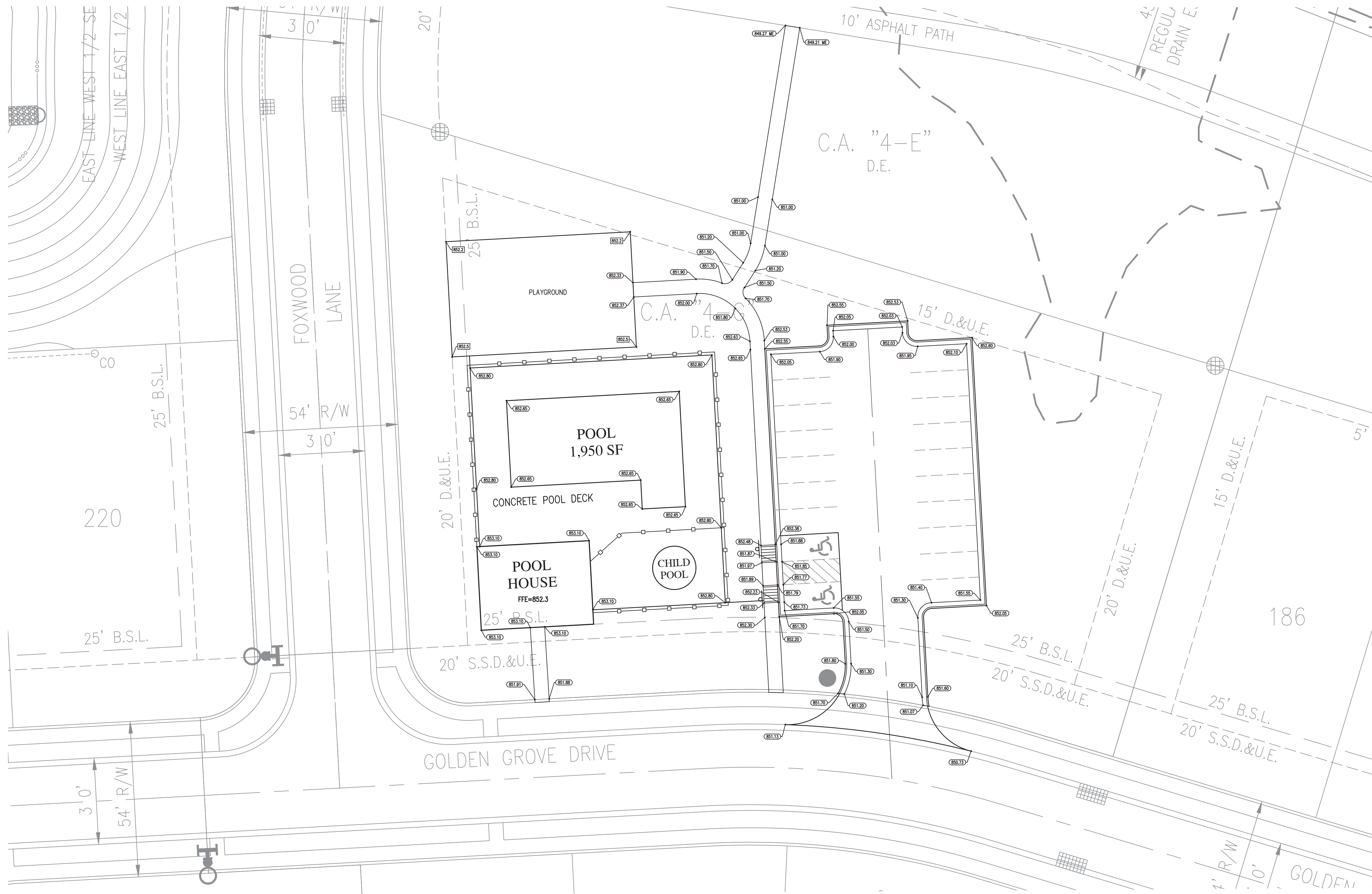
SUMMERTON AMENITY AREA  
MCCORDSVILLE, INDIANA  
SITE IMPROVEMENTS PLAN

Drawn by TS  
Checked by KE  
Date APRIL 22, 2024  
Scale AS SHOWN  
Sheet

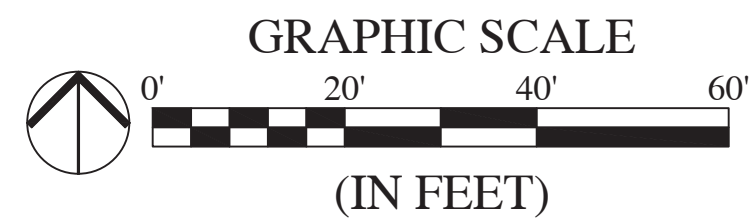
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SITE IMPROVEMENTS PLAN





*Call 811 or 800-382-5544 Before you Dig!*



LEGEND:

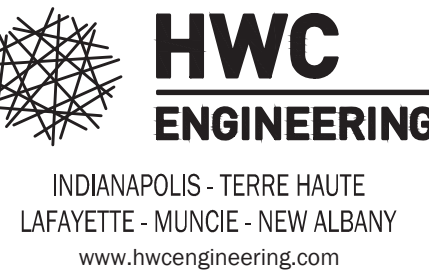
EXISTING		PROPOSED
	RIGHT-OF-WAY LINE	
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	SETBACK LINE	
	CENTERLINE	
	SWALE / FLOWLINE	
	SUBSURFACE DRAIN	
	SANITARY SEWER	
	STORM SEWER	
	STORM CULVERT	
	WATER MAIN	
	CONTOUR, MAJOR	
	CONTOUR, MINOR	
	FENCE	
	TREE LINE	
POND SIGNAGE		
STREET POST & LIGHT		
	SANITARY MANHOLE	
	STORM MANHOLE	
	STORM INLET	
	STORM END SECTION	
	FIRE HYDRANT	
	FLOW ARROW	
	SPOT ELEVATION	
	PAVEMENT ELEVATION	

ABBREVIATIONS:

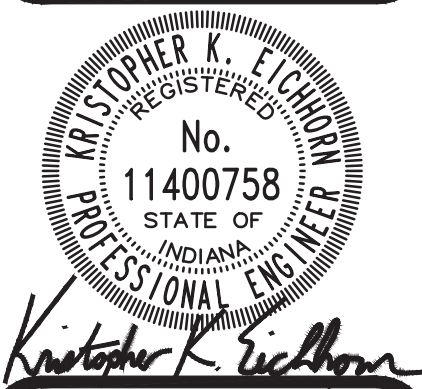
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THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE CURRENT MCCORDSVILLE CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS. THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT.

THE DESIGN AND CONSTRUCTION SHALL  
COMPLY WITH ALL ADA REQUIREMENTS.

[illegible]

**SUMMERTON AMENITY AREA  
MCCORDSVILLE, INDIANA**



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## C1.2

ITE GRADING PLAN



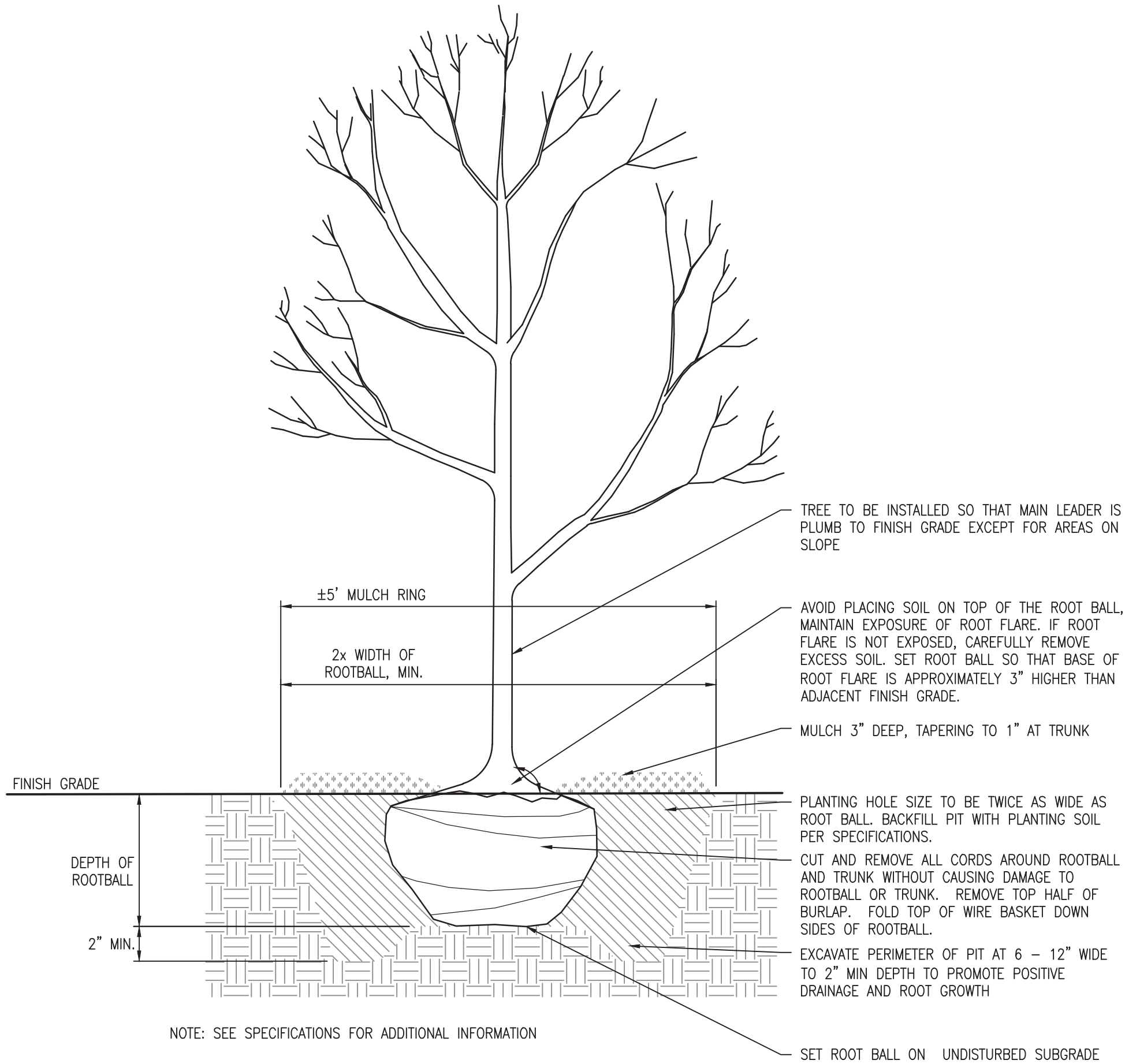




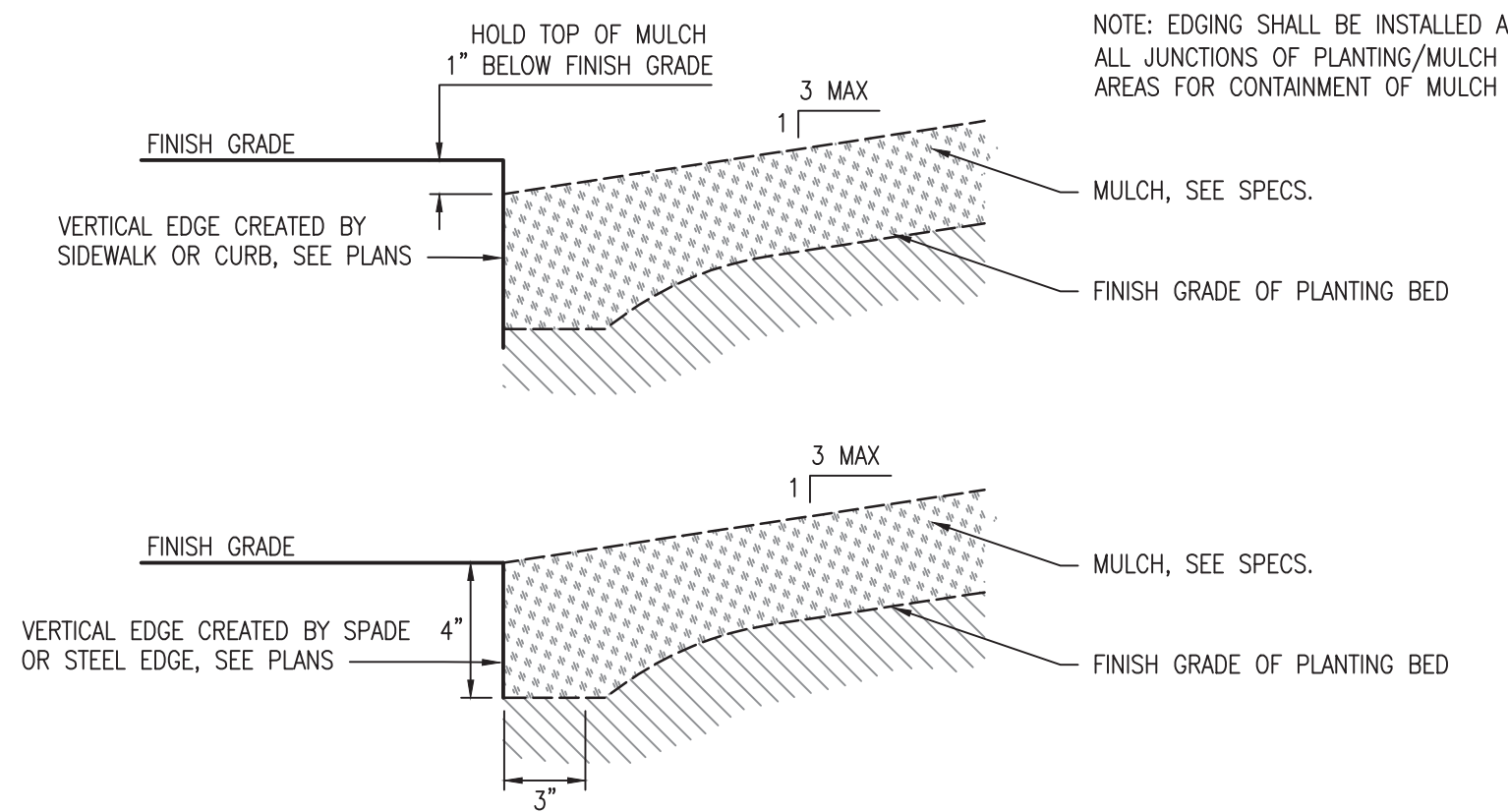




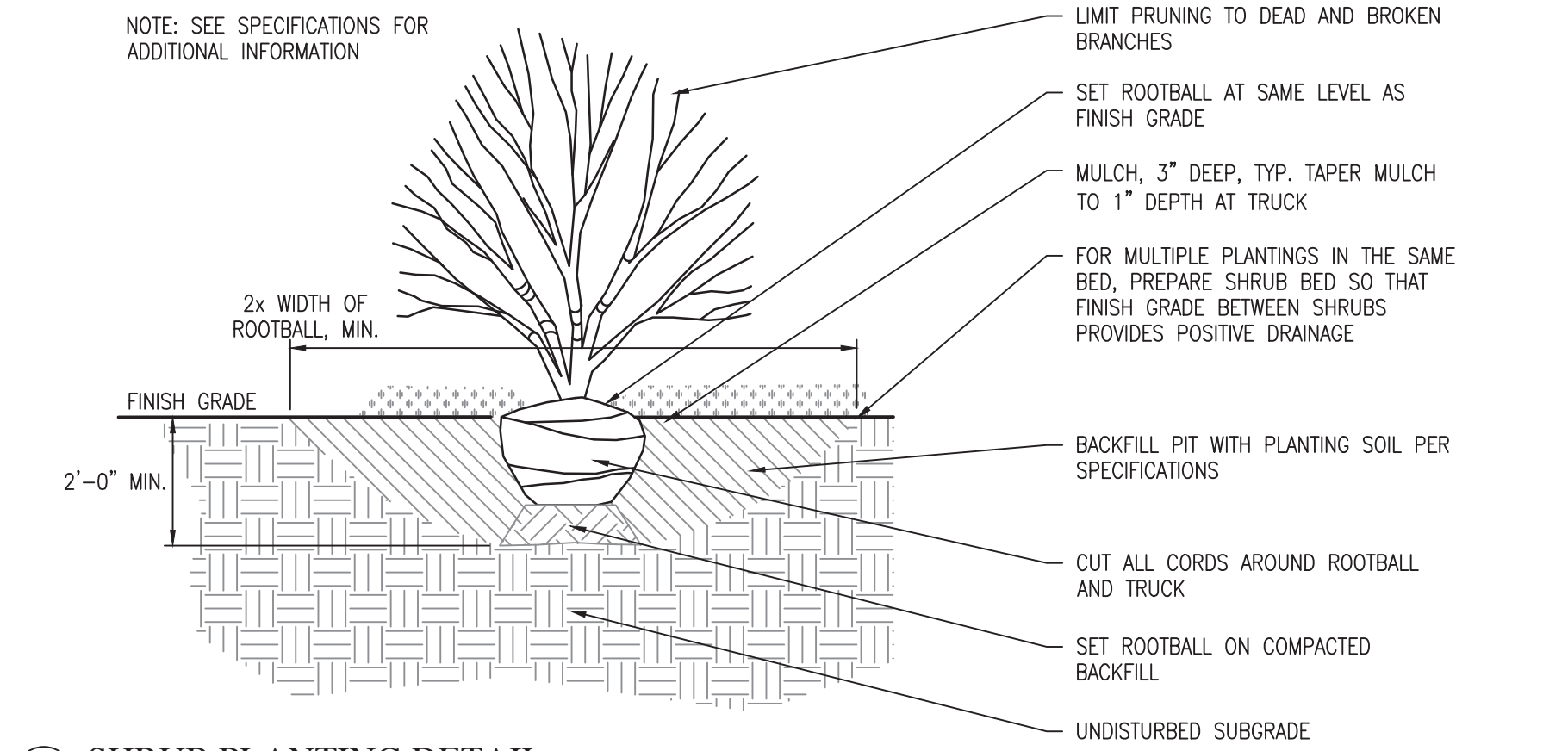
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Plot Date: Jun 04, 2024 Plot Time: 10:48am



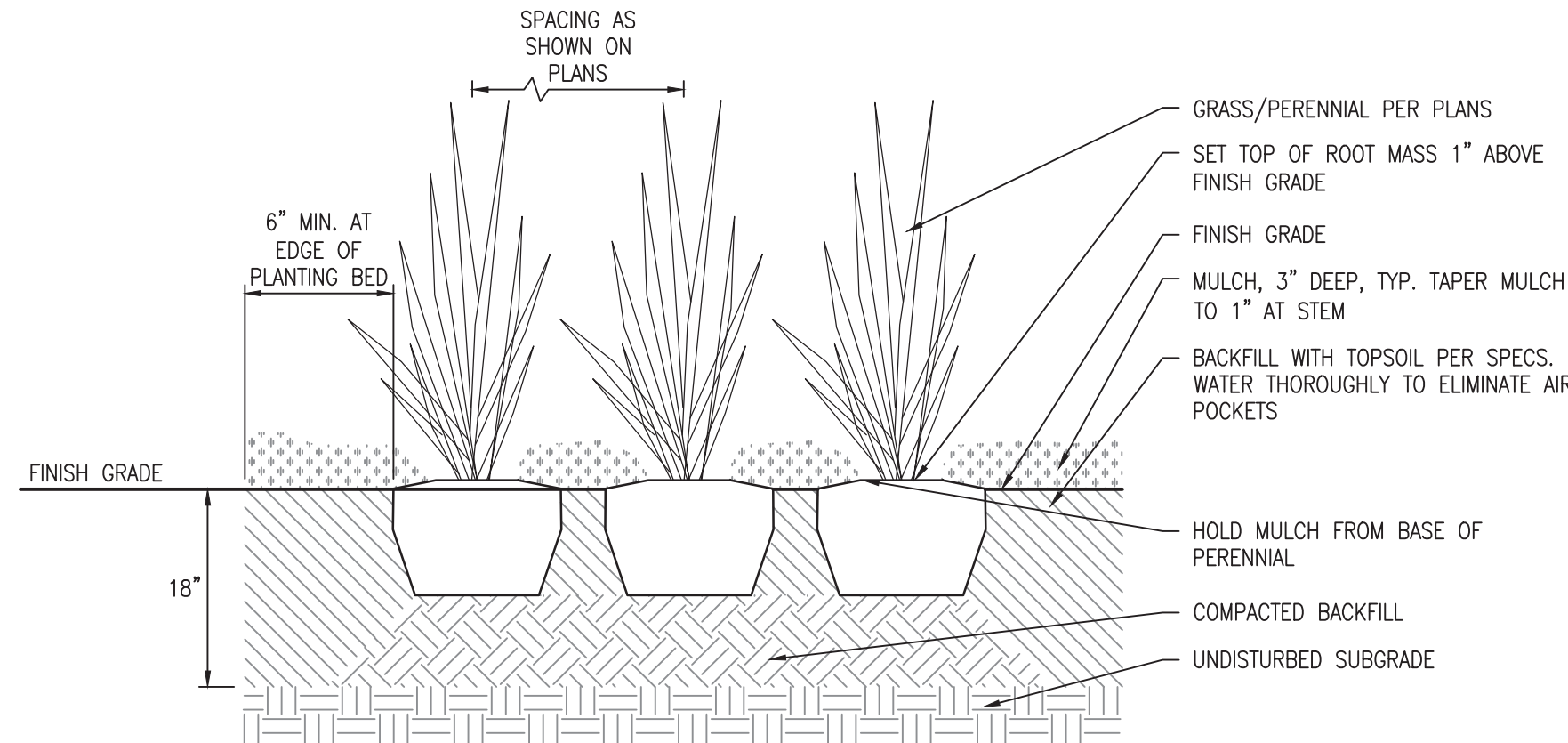
1 TYPICAL TREE PLANTING DETAIL  
NOT TO SCALE



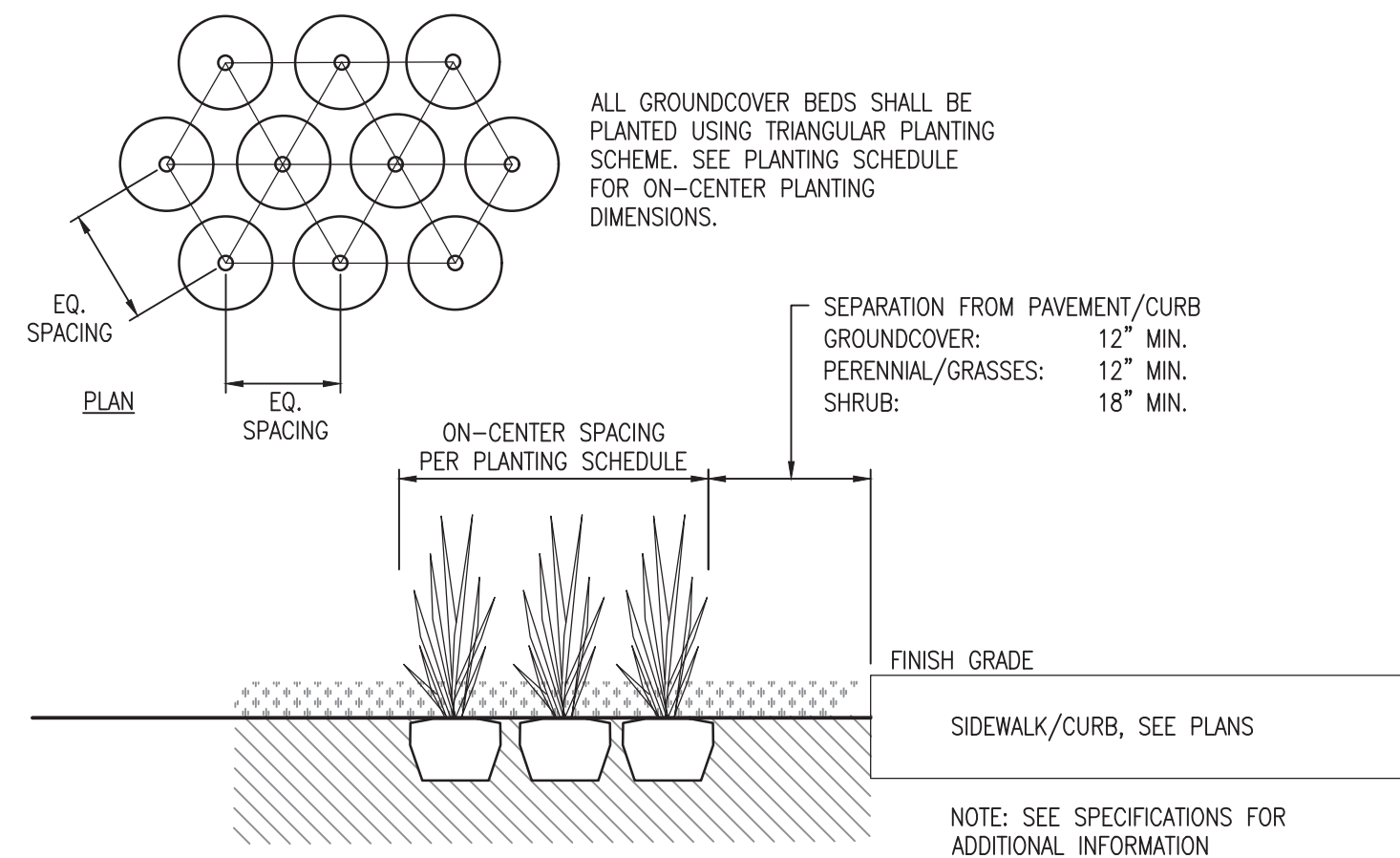
4 PLANTING BED PERIMETER  
NOT TO SCALE



# SHRUB PLANTING DETAIL  
NOT TO SCALE



3 PERENNIALS & GRASSES DETAIL  
NOT TO SCALE



5 PLANT LAYOUT  
NOT TO SCALE

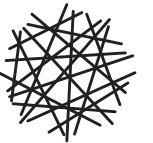
#### PLANTING NOTES:

1. PLANT LOCATION SHALL BE STAKED BY THE CONTRACTOR AND REVIEWED BY THE LANDSCAPE ARCHITECT BEFORE PLANTING OPERATIONS COMMENCE. ADJUST AS REQUESTED TO AVOID UTILITY CONFLICTS.
2. NOTE THAT PLANT LIST QUANTITIES ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO SUBMITTING THEIR BID FOR THIS PROJECT.
3. ALL PLANT MATERIAL SHALL CONFORM TO ANSI Z60.1 STANDARDS. LANDSCAPE ARCHITECT PRESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING INDUSTRY STANDARDS.
4. STREET TREES ARE TO BE SPACED AT 40' O.C., TYPICAL. HOWEVER, TREES WILL REQUIRED A MINIMUM 10' SEPARATION FROM SANITARY SEWER MAINLINES/LATERALS AND WATER MAINS.
5. PLANTING BEDS SHALL RECEIVE A 3" LAYER OF SHREDDED BARK MULCH.
6. SEED AND STRAW MULCH ALL LAWN AREAS DISTURBED DURING CONSTRUCTION, UNLESS NOTED OTHERWISE.
7. REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST FULL GROWING SEASON AFTER PLANTING. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVED STAKING MATERIALS.
8. EXCAVATION FOR TREE PITS SHALL BE 2.5 TIMES DIAMETER OF ROOT BALL, SET ON UNDISTURBED SUBBASE.
9. REMOVE ALL RIBBONS OR TREE TAGS AFTER APPROVAL BY LANDSCAPE ARCHITECT.
10. TREES SHALL BE ALIGNED AND PLUMB AFTER WATERING AND SETTLING.
11. PRUNE TREES AS REQUIRED, AND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
12. STAKING AND GUYING TO BE AT THE DISCRETION OF THE CONTRACTOR. TREES SHALL NOT SWAY EXCESSIVELY.
13. TREE SHALL BE TURNED SO BEST SIDE FACES FRONT
14. CONTRACTOR SHALL INSTALL TWO REINFORCED RUBBER HOSE SECTIONS WITH A DOUBLE STRAND OF #14 WIRE. WRAP WIRE A MINIMUM OF TWO TIMES AROUND EACH POST.
15. THE FIRST STAKE SHALL BE DIRECTLY SOUTHWEST OF THE TREE TRUNK.

PREPARED BY:  
HWC ENGINEERING  
135 N. PENNSYLVANIA ST., SUITE 2800  
INDIANAPOLIS, IN 46204  
P: 317-347-3663

#### REVISIONS

DATE	DESCRIPTION	BY
6/4/24	TAC REVIEW	HWC



**HWC**  
**ENGINEERING**

INDIANAPOLIS - TERRE HAUTE  
LAFAYETTE - MUNCIE - NEW ALBANY  
www.hwcengineering.com

SUMMERTON AMENITY AREA  
MCCORDSVILLE, INDIANA  
LANDSCAPE DETAILS



*Christopher K. Eichenhorn*

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SHEET	

L1.1

LANDSCAPE DETAILS