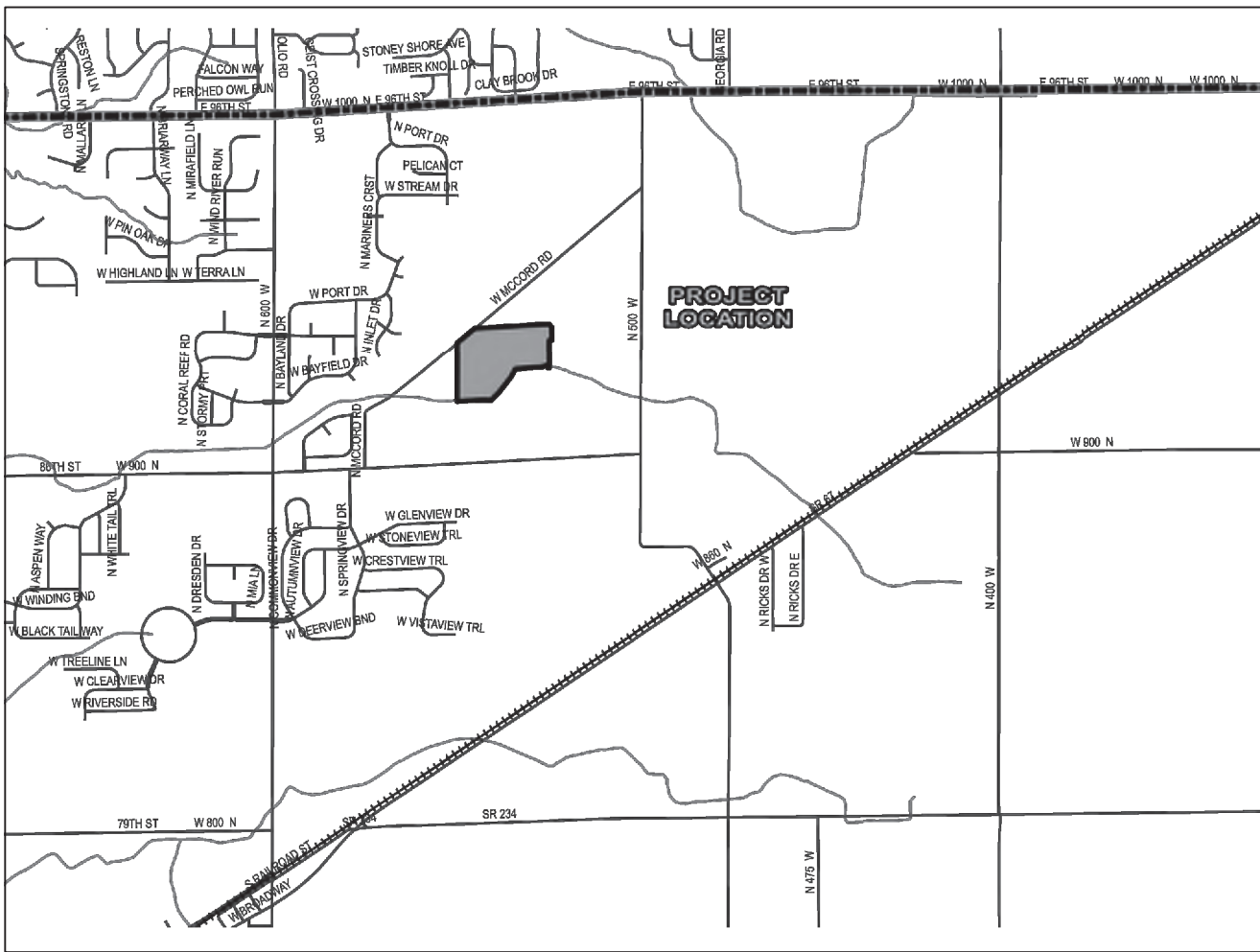


File Name: W:\Lennar\2020-235-E Lennar - Summerton 5\Design\CAD\20235-E Cover Sheet.dwg, Layout: C1.0 By: keichhorn
Plot Time: 9:30am Plot Date: Jan 05, 2024



OVERALL GENERAL PROJECT NOTES

- NOT ALL GAS, POWER, OR TELEPHONE LINES, WHETHER ABOVE OR BELOW GROUND, HAVE BEEN SHOWN ON THE DRAWINGS. ANY UNDERGROUND INFORMATION SHOWN ON THE DRAWINGS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONTRACTORS BENEFIT. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR PROTECTING ALL UTILITIES IN HIS WORK AREA. WHETHER SHOWN OR NOT, AND MUST REALIZE THAT THE ACTUAL LOCATION OF THE UTILITIES MAY BE DIFFERENT FROM THAT SHOWN ON THE DRAWINGS. ALL EXISTING UTILITIES ENCOUNTERED IN THE WORK, WHETHER IN PUBLIC RIGHTS OF WAY OR ON PRIVATE PROPERTY, SHALL BE THE CONTRACTORS RESPONSIBILITY TO MAINTAIN IN SERVICE ANY UTILITIES WHICH CAN BE REMOVED DURING CONSTRUCTION WITHOUT UNDUE INTERRUPTION TO SERVICE MAY BE REMOVED AND REPLACED BY THE CONTRACTOR WITH THE PERMISSION OF THE UTILITY. IF MINOR CONFLICTS ARISE, THE CONTRACTOR MAY SHIFT THE PROPOSED LOCATION OF THE INSTALLATION OF THE UTILITY. BEFORE WORKING WITH OR AROUND UTILITIES, THE APPLICABLE UTILITY COMPANY SHALL BE NOTIFIED BY THE CONTRACTOR.
- SAFETY PROVISIONS FOR THE WORK SHALL BE IN FULL COMPLIANCE WITH ALL APPLICABLE RULES AND REGULATIONS OF THE INDIANA OSHA AND ANY OTHER LOCAL STATE OR FEDERAL AGENCY HAVING JURISDICTION. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR SHALL AT MINIMUM, PROVIDE TRAFFIC CONTROL AS REQUIRED TO SAFELY PROTECT THE GENERAL PUBLIC, THE CONTRACTOR'S WORK FORCES AND THE WORK. TRAFFIC CONTROL SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE INDIANA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND THE INDIANA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, SPECIAL PROVISIONS, STANDARD DETAILS AND GENERAL INSTRUCTIONS TO FIELD EMPLOYEES. THE REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS. THE OPTION OF THE OWNER AND/OR ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, FENCES, WARNING SIGNS, FLASHING LIGHTS, TEMPORARY WALKWAYS, AND TRAFFIC CONTROL DURING CONSTRUCTION. CONTRACTOR TO COMPLY WITH ALL OSHA REGULATIONS, REQUIREMENTS, SAFETY MEETING REQUIREMENTS AND AGENCY REQUIREMENTS FOR TRAFFIC CONTROL AND SAFETY PRECAUTIONS, THERE WILL BE NO SEPARATE OR ADDITIONAL PAYMENT FOR THIS WORK.
- WHERE PROPERTY MARKERS, SECTION CORNERS, SURVEY MARKS OR BENCHMARKS, SUCH AS STONES, PIPES, OR OTHER SUCH MONUMENTS ARE ENCOUNTERED AND CONFLICT WITH THE WORK, THE ENGINEER SHALL BE NOTIFIED BEFORE THEY ARE DISTURBED. THE MARKERS SHALL BE PROTECTED AFTER THE OWNER, ENGINEER, AND AUTHORIZED SURVEYOR OR AGENT HAS WITNESSED OR REFERENCED THEIR LOCATIONS.
- ALL MATERIALS DENOTED "SALVAGED" SHALL BE STORED AND PROTECTED AT THE SITE FOR THE OWNER TO COLLECT OR FOR THE CONTRACTOR TO RE-USE AS INDICATED.
- THERE SHALL BE NO CHANGES WITHOUT WRITTEN APPROVAL OF ENGINEER.
- ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
- CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
- REMOVE AND BACKFILL ALL AREAS WHERE ANY FIELD TILE CROSSES PROPOSED HOUSE PADS. ALL FIELD TILES INTERCEPTED TO BE PERPETUATED INTO STORM SEWER SYSTEM OR LAKE. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER IN ANY CIRCUMSTANCES WHERE THIS CANNOT BE ACCOMPLISHED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL UTILITY LOCATIONS.
- CONTRACTOR SHALL STAMP THE LETTER "S" IN THE CURB PERPENDICULAR TO THE LATERAL MARKER.
- STRUCTURES RECEIVING SUB-SURFACE DRAIN (SSD) SHALL HAVE BOTH PORTS CORE DRILLED. "I" OR "Y" BLIND CONNECTIONS ARE NOT ALLOWED.
- ALL STORM SEWER CASTINGS SHALL BE LABELED "DUMP NO WASTE--DRAINS TO WATERWAY".
- STRUCTURAL FILL: SHALL BE COMPACTED TO AT LEAST 95% STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698). SHALL BE FREE OF ORGANIC MATERIAL, DEBRIS, DELETERIOUS MATERIALS AND FROZEN SOLIDS.
- ALL ROADS MUST BE BROUGHT BACK TO ORIGINAL OR BETTER CONDITION, INCLUDING BUT NOT LIMITED TO STRIPING, STONE SHOULDERS AND SIGNAGE. REPAIRS (I.E. STRIPING) SHALL COINCIDE WITH THE ADJOINING ROAD.
- CLAY POND LINERS ARE REQUIRED IF SIGNIFICANT SAND OR GRAVEL STRATIFICATIONS ARE ENCOUNTERED DURING EXCAVATION OF POND.
- ALL COMMON AREA SIDEWALKS OR PATHS ARE TO BE CONSTRUCTED AS PART OF THE SITE INFRASTRUCTURE. INDIVIDUAL LOT SIDEWALKS TO BE CONSTRUCTED AT THE TIME OF HOME CONSTRUCTION.
- FLOODPLAIN BOUNDARY LINES SHOWN ARE DELINEATED BASED ON APPLYING BASE FLOOD ELEVATIONS (BFEs) TO SITE-SPECIFIC TOPOGRAPHY PER FEMA MAP #18059C0017D DATED DECEMBER 4, 2007.

ZONED SUMMERTON AMENDED PUD ORDINANCE NO. _____, AN ORDINANCE AMENDING THE TOWN OF MCCORDSVILLE ZONING ORDINANCE NO. 121410, AS AMENDED.

DEVELOPMENT STANDARDS

AREA "B"

MAXIMUM NUMBER OF LOTS	116
MINIMUM LOT AREA	8,450 SQ. FT.
MINIMUM LOT WIDTH	
AT BUILDING LINE	65
MINIMUM FRONT YARD SETBACK	25 FEET
MINIMUM SIDE YARD SETBACK	7.5 FEET
MINIMUM REAR YARD SETBACK	15 FEET
MINIMUM LIVABLE FLOOR AREA	1,500 SF (SINGLE STORY)
	1,800 SF (MULTI STORY)
MIN. GROUND FLOOR LIVING AREA	900 SF (MULTI STORY)
MAXIMUM LOT COVERAGE	50%
MAXIMUM HEIGHT - PRINCIPAL	35 FEET

SITE DATA

LOTS:	57
DISTURBED AREA:	26.61 AC
START CONSTRUCTION:	FEBRUARY 2024
END CONSTRUCTION:	FEBRUARY 2029

PLAN COMMISSION APPROVAL _____

DRAINAGE APPROVAL _____

ADDRESS APPROVAL _____

EROSION CONTROL APPROVAL _____

COUNTY ENGINEER APPROVAL _____

COUNTY SANITARIAN APPROVAL _____

COUNTY COMMISSIONERS APPROVAL _____

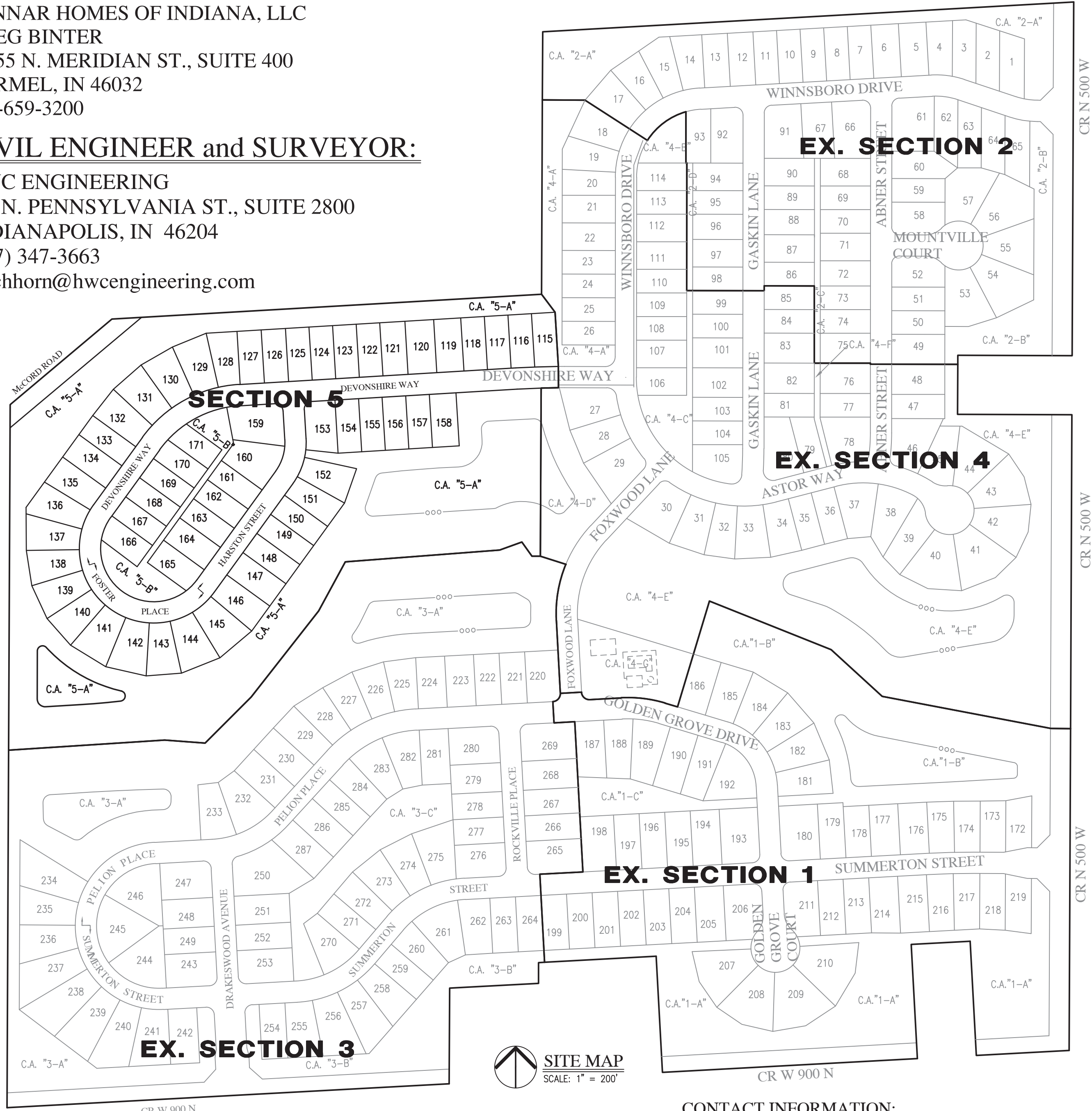
SUMMERTON SECTION 5 CONSTRUCTION PLANS Lennar Homes of Indiana, LLC

DEVELOPER:

LENNAR HOMES OF INDIANA, LLC
GREG BINTER
11555 N. MERIDIAN ST., SUITE 400
CARMEL, IN 46032
317-659-3200

CIVIL ENGINEER and SURVEYOR:

HWC ENGINEERING
135 N. PENNSYLVANIA ST., SUITE 2800
INDIANAPOLIS, IN 46204
(317) 347-3663
keichhorn@hwcengineering.com



CONTACT INFORMATION:

COMMON AREAS	
C.A. # 5-A	10.81 AC
C.A. # 5-B	0.65 AC
TOTAL:	11.46 AC

LINEAR FOOTAGE OF STREET	
DEVONSHIRE WAY	1,437 LF
FOSTER PLACE	348 LF
HARSTON STREET	576 LF
TOTAL:	2,361 LF

CITIZENS ENERGY GROUP / CWA AUTHORITY, INC. (WATER)
BRAD HOSTETLER
2150 DR. MARTIN LUTHER KING JR. STREET
INDIANAPOLIS, INDIANA 46202
P: (317) 927-4351
BHOSTETLER@CITIZENSENERGYGROUP.COM

NINESTAR CONNECT (Electric & Telecom)
ERIC MEYER (317) 323-2074
2243 East Main Street
Greenfield, Indiana 46140
EMEYER@NINESTARCONNECT.COM

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PLANNING AND BUILDING DEPT
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rcrum@mccordsville.org

MCCORDSVILLE FIRE DEPARTMENT
7580 N Form Street
McCordsville, Indiana 46055
P: (317) 335-9236

TOWN OF MCCORDSVILLE
ENGINEERING DEPARTMENT
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PUBLIC WORKS
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VECTREN
SANDRA CASEY
16000 Allisonville Road
Noblesville, Indiana 46061
P: (317) 776-5532,
F: (317) 776-5553
Mailing Address: P.O. Box 1700
Noblesville, Indiana 46061
sandra.casey@centerpointenergy.com



BR
CRA
MmB2
Ko

SOILS LEGEND

BROOKSTON SILTY CLAY LOAM
CROSBY SILT LOAM, 0 TO 3 PERCENT SLOPES
MIAMI SILT LOAM, 2 TO 6 PERCENT SLOPES, ERODED
KOKOMO SILTY CLAY LOAM, 0 TO 2 PERCENT SLOPES



SHEET LIST TABLE

Sheet Title	Sheet Description
C1.0	COVER
C1.1	EXISTING CONDITIONS PLAN
C1.2	DEVELOPMENT PLAN
C1.3	PRE-CONSTRUCTION STORMWATER POLLUTION PREVENTION
C1.4	POST CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN
C1.5	EMERGENCY FLOOD ROUTE PLAN
C1.6	MASTER UTILITY PLAN
C1.7	SUBSURFACE DRAIN PLAN
C2.0	STREET PLAN & PROFILE
C3.0	INTERSECTION DETAILS
C3.1	TRAFFIC CONTROL AND LIGHTING PLAN
C4.0 - C4.1	SANITARY SEWER PLAN & PROFILE
C6.0 - C6.2	STORM SEWER PLAN & PROFILE
C7.0 - C7.1	WATER DISTRIBUTION PLAN
C8.0-C8.1	STORMWATER POLLUTION PREVENTION NOTES
C8.2-C8.4	STORMWATER POLLUTION PREVENTION DETAILS
C8.5	CONSTRUCTION DETAILS
C8.6	CITIZENS WATER DETAILS
L1.0	LANDSCAPE PLAN
L1.1-L1.2	LANDSCAPE DETAILS

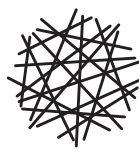
MCCORDSVILLE TOWN STANDARDS

SHEET LIST TABLE

Sheet Title	Sheet Description
1	DIRECTIONS FOR USE & GENERAL NOTES
2	RIGHT-OF-WAY SECTIONS & PAVEMENT SPECIFICATIONS
3	RIGHT-OF-WAY DETAILS
4	UTILITY LOCATION GUIDELINES
5	DRIVE WAY & HANDICAP RAMP DETAILS
6	STORM SEWER STRUCTURE DETAILS
7	STORM SEWER BEDDING DETAILS AND GENERAL NOTES
8	SANITARY SEWER SPECIFICATIONS
9	SANITARY SEWER DETAILS
10	SANITARY SEWER LIFT STATION STANDARDS & GUIDELINES

REVISIONS

DATE	DESCRIPTION	BY

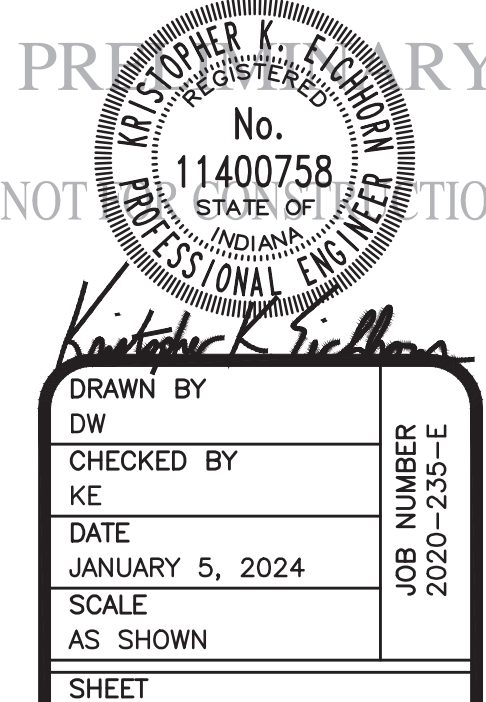


**HWC
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LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

SUMMERTON SECTION 5
MCCORDSVILLE, INDIANA

COVER SHEET



DRAWN BY

DW

CHECKED BY

KE

DATE

JANUARY 5, 2024

SCALE

AS SHOWN

SHEET

JOB NUMBER
2020-235-E

C1.0

COVER SHEET




Call 811 or 800-382-5544 Before you Dig!



GRAPHIC SCALE

0' 60' 120' 180'



(IN FEET)

LEGEND:

EXISTING		RIGHT-OF-WAY LINE		PROPOSED
_____		EASEMENT LINE	_____	_____
_____		SETBACK LINE	_____	_____
_____		CENTERLINE	_____	_____
_____	ooo	SWALE / FLOWLINE	_____	_____ooo
_____S_____		SUBSURFACE DRAIN	_____	_____
_____ST_____		SANITARY SEWER	_____S_____	_____S_____
_____ST_____		STORM SEWER	_____ST_____	_____ST_____
_____ST_____		STORM CULVERT	_____ST_____	_____ST_____
_____W_____		WATER MAIN	_____W_____	_____W_____

	③	SANITARY MANHOLE		● (XX)
	④	STORM MANHOLE		● (XX)
	⌘	STORM INLET		⌘ (XX)
	⌘	STORM END SECTION		⌘ (XX)
	⌘	FIRE HYDRANT		⌘
	SSD CLEANOUT			⌘

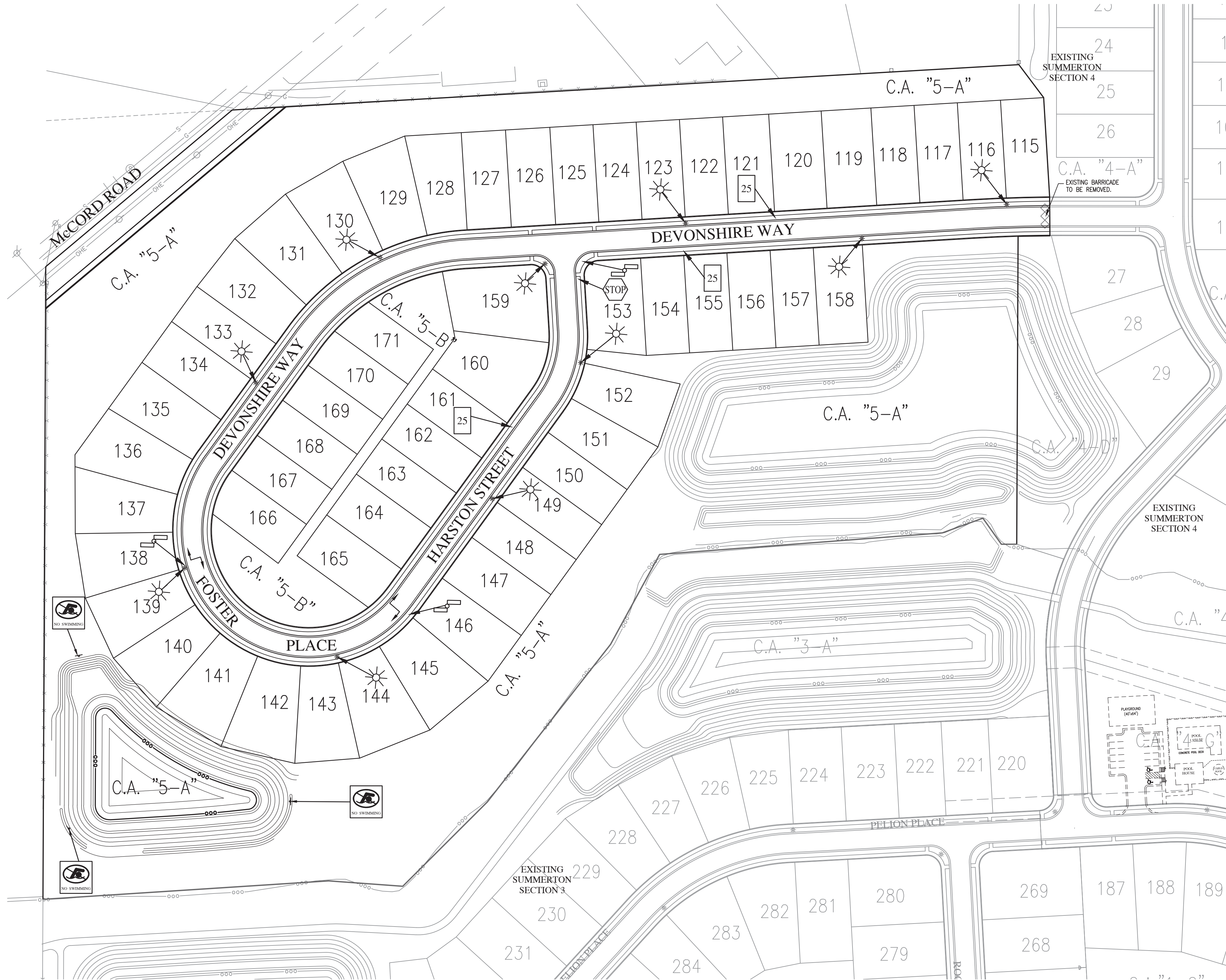
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**SUMMERTON SECTION 5
MCCORDSVILLE, INDIANA
MASTER UTILITY PLAN**



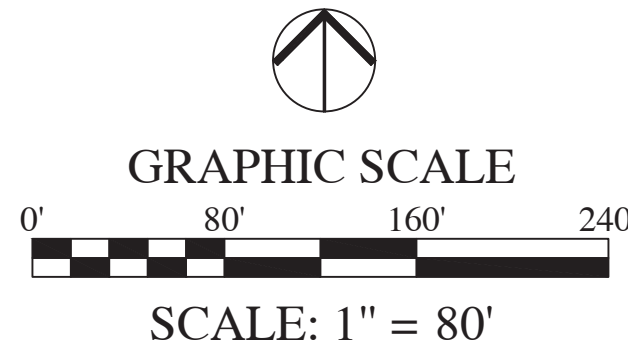
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CHECKED BY KE	
DATE JANUARY 5, 2024	
SCALE AS SHOWN	
SHEET	

C1.6



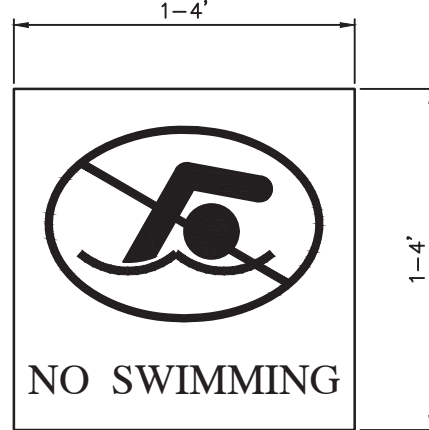
GENERAL NOTES

1. LIGHTING, SIGNS, IRRIGATION LINES, ETC. MUST BE CONSTRUCTED TO MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET FROM THE CENTER OF THE SANITARY SEWER FACILITIES.
2. STREET LIGHTS ARE REQUIRED TO MATCH EXISTING STREET LIGHTS. TO INCLUDE POLE TYPE, FIXTURE TYPE, HEIGHT OF FIXTURE ETC.
3. ALL STREET LIGHTING SHALL BE INSTALLED WITH REFLECTORS OR OTHER SUCH DEVICES OR CONTROLS SO THAT LIGHT IS REFLECTED DOWNWARD TO MITIGATE LIGHT SPOILOVER. ALL STREET LIGHTS ARE TO BE FULL CUT-OFF AND DARK SKY COMPLIANT.



LEGEND:

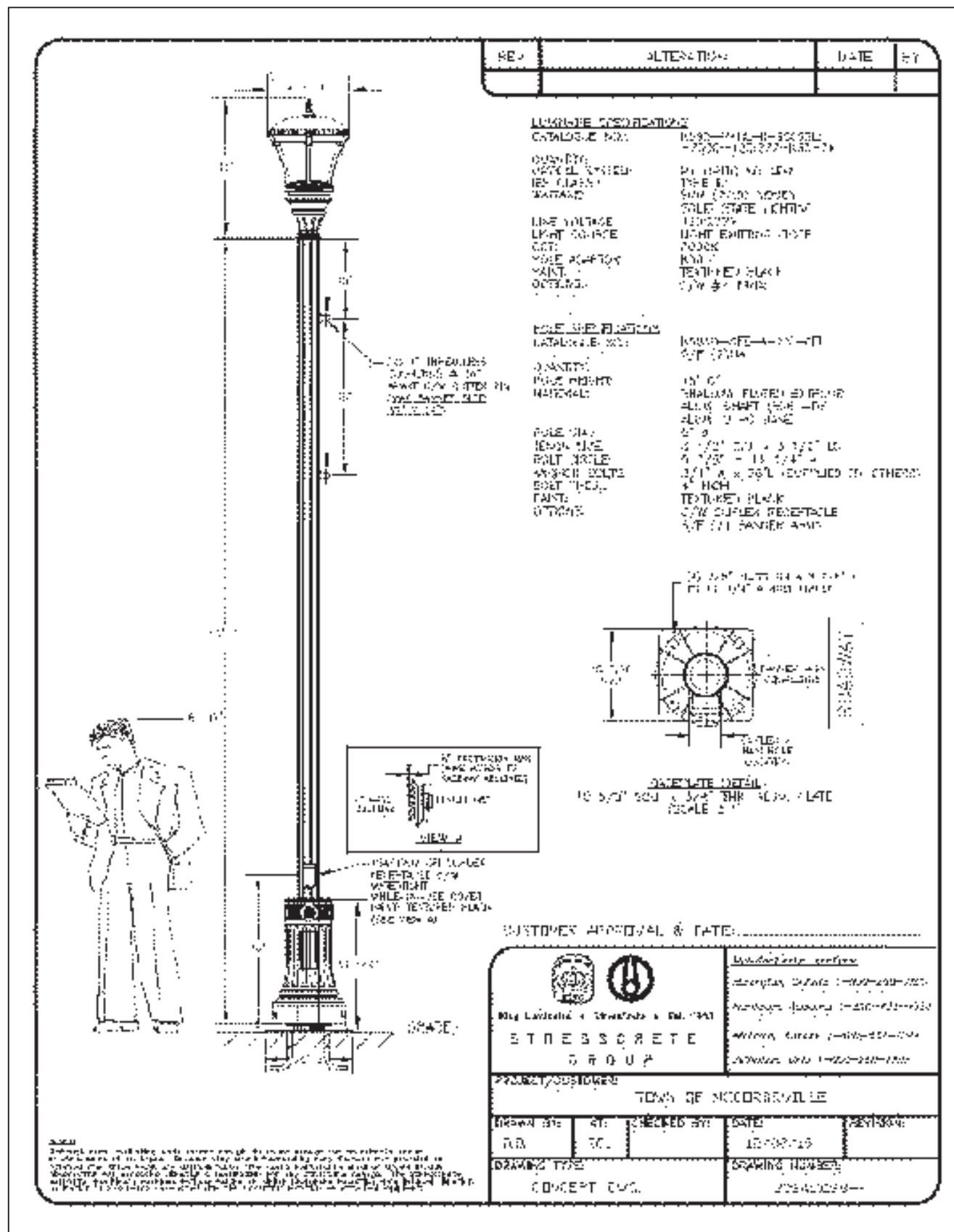
EXISTING	RIGHT-OF-WAY LINE	PROPOSED
	STOP SIGN	
	SPEED LIMIT SIGN	
	STREET NAME SIGN	
	END OF ROAD MARKER: TYPE III CONSTRUCTION BARRICADE	
	HIGH POWERED LED STREET LIGHT (SEE TOWN OF MCCORDSVILLE ZONING ORDINANCE, EXHIBIT C).	
	NOTE: ALL STREET LIGHTS TO BE FULL CUT-OFF AND DARK SKY COMPLIANT	
	POND SAFETY SIGN	



POND SAFETY SIGN
NOT TO SCALE

NOTES:

1. SIZE SHOULD BE A MINIMUM OF ONE SQUARE FEET, MAXIMUM FOUR SQUARE FEET.
2. SHOULD BE NO MORE THAN 500 FEET APART, WITH NO LESS THAN FOUR SIGNS PER POND.
3. A SIGN MUST BE PLACED AT ALL PUBLIC ACCESS AND ENTRANCE AREAS TO POND.
4. MUST HAVE THE WORDS "NO SWIMMING" AND A "NO SWIMMING" SYMBOL. CAN ALSO PROHIBIT TRESPASSING, SWIMMING, WADING OR OTHER RECREATIONAL ACTIVITIES THAT WOULD INVOLVE A PERSON ENTERING A POND.
5. COLORS TO BE DETERMINED BY THE HOMEOWNERS ASSOCIATION DEVELOPER.



REVISIONS

DATE	DESCRIPTION	BY



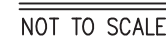
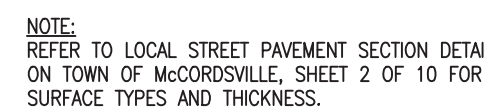
SUMMERTON SECTION 5
MCCORDSVILLE, INDIANA
TRAFFIC CONTROL & LIGHTING PLAN



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CHECKED BY KE	
DATE JANUARY 5, 2024	
SCALE AS SHOWN	
SHEET	

C3.1

TRAFFIC CONTROL & LIGHTING PLAN



REVISIONS



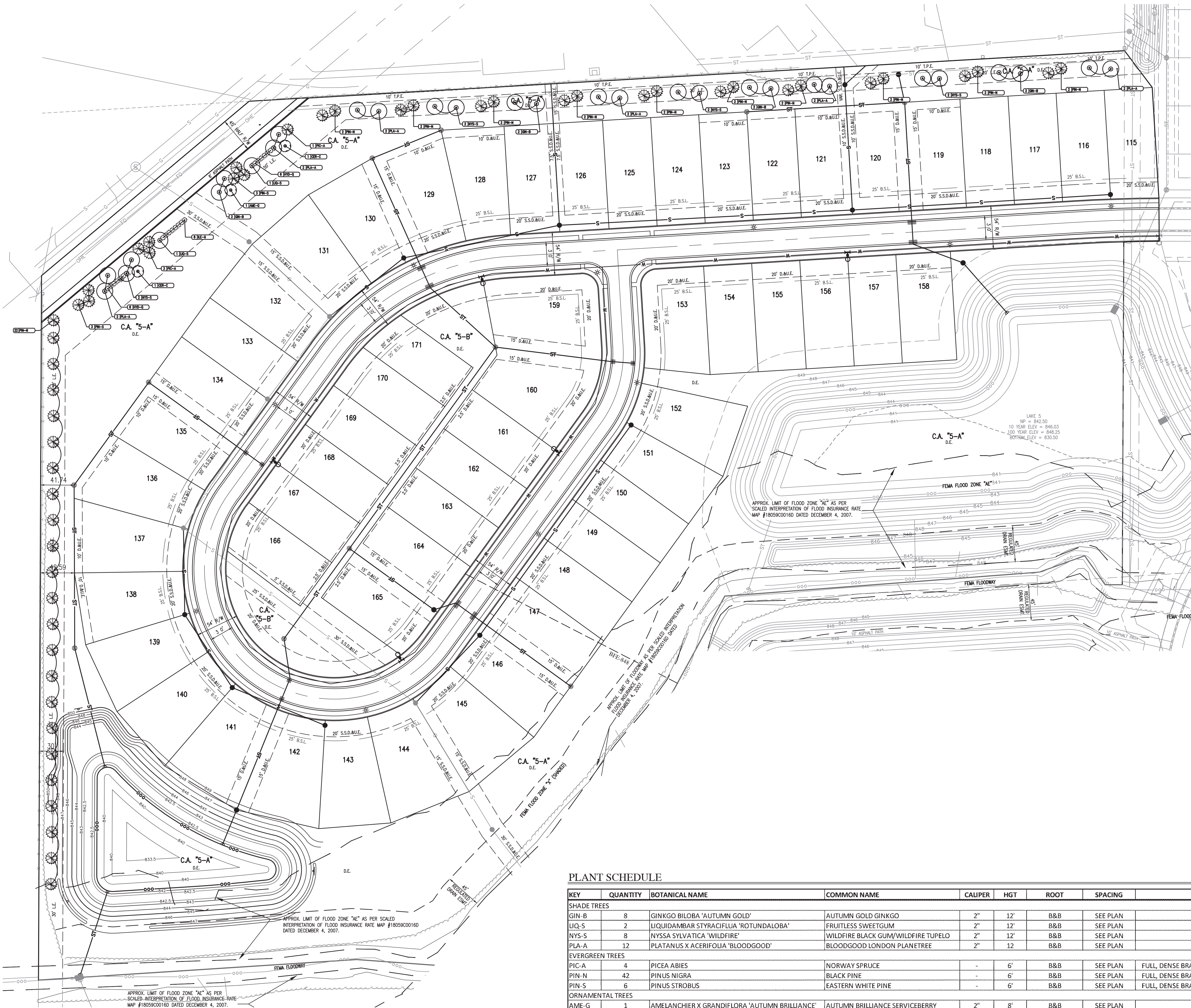
CONSTRUCTION DETAILS



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CHECKED BY KE	
DATE JANUARY 5, 2024	
SCALE AS SHOWN	
SHEET	

C8.6

CONSTRUCTION DETAILS



LEGEND:	
EXISTING	PROPOSED
	RIGHT-OF-WAY LINE
	EASEMENT LINE
	SETBACK LINE
	CENTERLINE
	SWALE / FLOWLINE
	SUBSURFACE DRAIN
	SANITARY SEWER
	STORM SEWER
	STORM CULVERT
	WATER MAIN
	CONTOUR, MAJOR
	CONTOUR, MINOR
	FENCE
	TREE LINE
	SANITARY MANHOLE
	STORM MANHOLE
	STORM INLET
	STORM END SECTION
	FIRE HYDRANT
	STREET LIGHT

LANDSCAPE LEGEND:	
	QUANTITY / KEY
	SPADE EDGE
	SHADE TREE
	EVERGREEN TREE
	ORNAMENTAL TREE
	SHRUB

LANDSCAPE REQUIREMENTS	
PER SUMMERTON PUD FOR PERIMETER LANDSCAPING REQUIREMENTS	
PERIMETER LANDSCAPE	
BUFFER 1 ALONG MCCORD ROAD	
REQUIRED:	3 EVERGREEN TREES, 1 ORNAMENTAL TREE, 3 DECIDUOUS SHADE TREES, 6 SHRUBS PER 100 LF OF FRONTAGE
MCCORD ROAD FRONTAGE:	337 LF
REQUIRED:	EVERGREEN TREES 10, ORNAMENTAL TREES 3, DECIDUOUS SHADE TREES 10, SHRUBS 20
PROVIDED:	EVERGREEN TREES 10, ORNAMENTAL TREES 3, DECIDUOUS SHADE TREES 10, SHRUBS 20
CONTINUOUS MOUNDING 3-5 FEET HIGH PROVIDED: YES	
BUFFER 2 ALONG WEST BOUNDARY:	
EVERGREEN TREES SPACED FORTY (40) FEET ON CENTER.	
WEST PROPERTY LINE:	878 LF
REQUIRED EVERGREEN TREES:	22
PROVIDED EVERGREEN TREES:	22
BUFFER 3 ALONG NORTH BOUNDARY:	
TWO (2) EVERGREEN TREES, TWO (2) SHADE TREES PER 100 LF	
NORTH PROPERTY LINE:	1,017 LF
REQUIRED EVERGREEN TREES:	20
PROVIDED EVERGREEN TREES:	20
REQUIRED SHADE TREES:	20
PROVIDED SHADE TREES:	20

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER	HGT	ROOT	SPACING	REMARKS
SHADE TREES								
GIN-B	8	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO	2"	12'	B&B	SEE PLAN	CENTRAL LEADER - MALE ONLY
LIQ-S	2	LIQUIDAMBAR STYRACIFLUA 'ROTUNDALOBA'	FRUITLESS SWEETGUM	2"	12'	B&B	SEE PLAN	CENTRAL LEADER
NYS-S	8	NYSSA SYLVATICA 'WILDFIRE'	WILDFIRE BLACK GUM/WILDFIRE TUPELO	2"	12'	B&B	SEE PLAN	CENTRAL LEADER
PLA-A	12	PLATANUS X ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE	2"	12	B&B	SEE PLAN	CENTRAL LEADER
EVERGREEN TREES								
PIC-A	4	PICEA ABIES	NORWAY SPRUCE	-	6'	B&B	SEE PLAN	FULL, DENSE BRANCHING, WIDTH NOT LESS THAN 60% OF HEIGHT
PIN-N	42	PINUS NIGRA	BLACK PINE	-	6'	B&B	SEE PLAN	FULL, DENSE BRANCHING, WIDTH NOT LESS THAN 60% OF HEIGHT
PIN-S	6	PINUS STROBUS	EASTERN WHITE PINE	-	6'	B&B	SEE PLAN	FULL, DENSE BRANCHING, WIDTH NOT LESS THAN 60% OF HEIGHT
ORNAMENTAL TREES								
AME-G	1	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	2"	8'	B&B	SEE PLAN	CENTRAL LEADER
CER-C	2	CERCIS CANADENSIS	REDBUD	2"	8'	B&B	SEE PLAN	CENTRAL LEADER
SHRUBS28'								
HYD-Q	12	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	-	18"	#5 CONT	SEE PLAN	FULL IN POT
ILE-G	8	ILEX GLABRA 'DENSE'	DENSE COMPACT INKBERRY	-	18"	#5 CONT	SEE PLAN	FULL IN POT

REVISIONS		
DATE	DESCRIPTION	BY

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INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

SUMMERTON SECTION 5
MCCORDSVILLE, INDIANA

LANDSCAPE PLAN

PROFESSIONAL ENGINEER

NOTARY PUBLIC

No. 11400758

STATE OF INDIANA

Professional Engineer

Signature: Kristopher K. Eichendorfer

DRAWN BY: DW

CHECKED BY: KE

DATE: JANUARY 5, 2024

SCALE: AS SHOWN

SHEET

JOB NUMBER: 2020-235-E

L1.0

LANDSCAPE PLAN

THIS INSTRUMENT PREPARED BY:

KRISTOPHER K. EICHHORN
HWC ENGINEERING
135 N. PENNSYLVANIA STREET, SUITE 2800
INDIANAPOLIS, INDIANA 46204
PHONE: (317) 347-3663

DEVELOPED BY:
LENNAR HOMES OF INDIANA, LLC
11555 N. MERIDIAN ST., SUITE 400
CARMEL, INDIANA 46032
PHONE: (317) 659-3200

SUMMERTON SECTION 5

SECONDARY PLAT

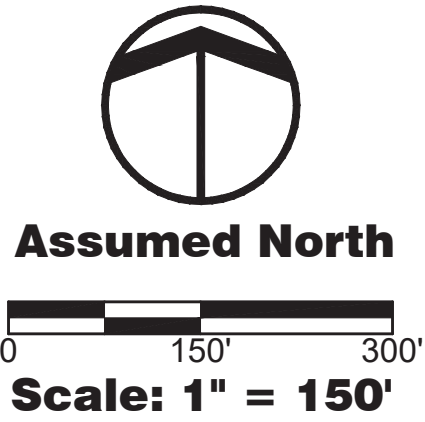
TOWN OF MCCORDSVILLE

VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: _____

CABINET: _____

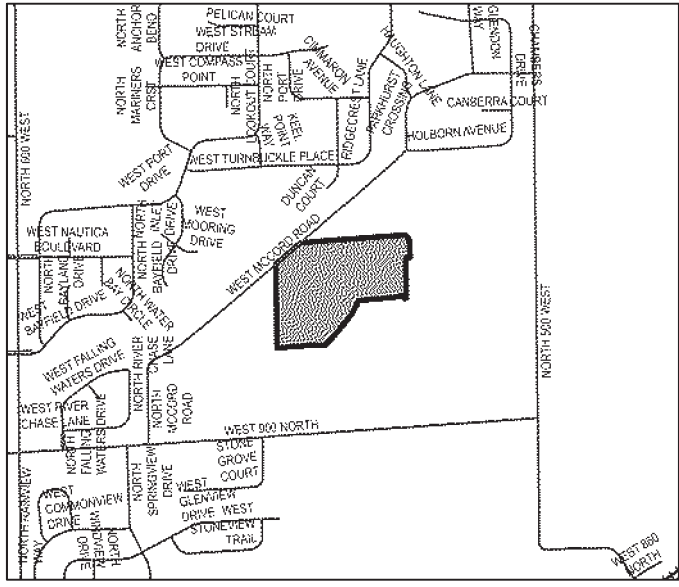
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DEVELOPMENT STANDARDS

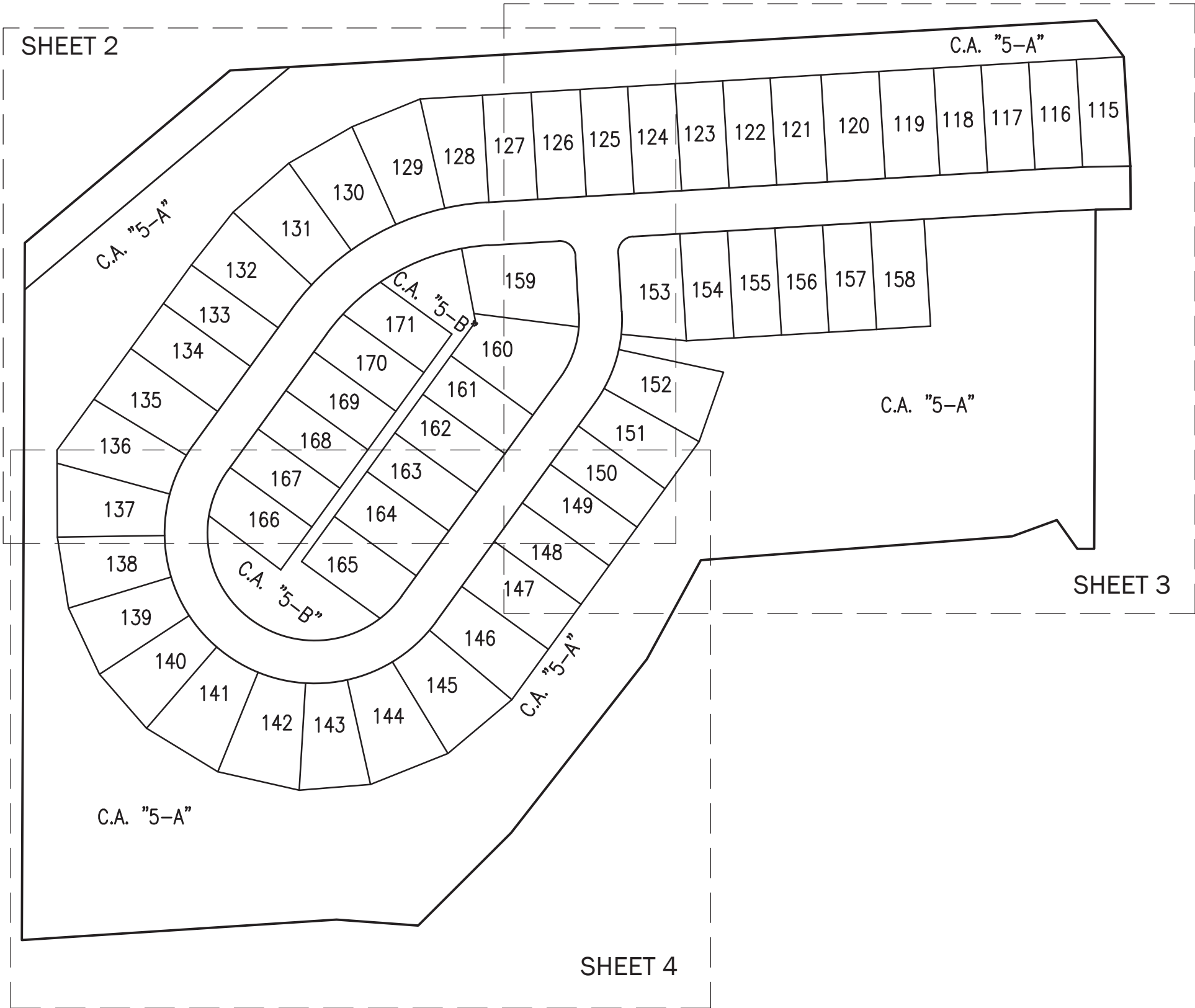
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MINIMUM LIVABLE FLOOR AREA	1,500 SF (SINGLE STORY) 1,800 SF (MULTI STORY)
MIN. GROUND FLOOR LIVING AREA	900 SF (MULTI STORY)
MAXIMUM LOT COVERAGE	50%
MAXIMUM HEIGHT - PRINCIPAL	35 FEET



Vicinity Map
Not to Scale

Curve Table					
Curve #	Length	Radius	Chord Length	Chord Bearing	Delta
C-1	44.10'	1973.00'	44.10'	S88°58'16"W	1°16'50"
C-2	105.07'	1973.00'	105.06'	S88°05'08"W	3°03'05"
C-3	106.51'	2000.00'	106.50'	S88°05'08"W	3°03'05"
C-4	107.95'	2027.00'	107.94'	S88°05'08"W	3°03'05"
C-5	31.42'	20.00'	28.28'	S41°33'36"W	90°00'00"
C-6	31.42'	20.00'	28.28'	N48°26'24"W	90°00'00"
C-7	241.17'	273.00'	233.41'	S61°15'07"W	50°36'59"
C-8	265.03'	300.00'	256.49'	S61°15'07"W	50°36'59"
C-9	288.88'	327.00'	279.58'	S61°15'07"W	50°36'59"
C-10	424.12'	135.00'	270.00'	S54°03'23"E	180°00'00"
C-11	508.94'	162.00'	324.00'	S54°03'23"E	180°00'00"
C-12	593.76'	189.00'	378.00'	S54°03'23"E	180°00'00"
C-13	84.55'	123.00'	82.89'	N16°15'07"E	39°23'01"
C-14	103.11'	150.00'	101.09'	N16°15'07"E	39°23'01"
C-15	121.67'	177.00'	119.28'	N16°15'07"E	39°23'01"



Site Map

SCALE: 1" = 150'

Kristopher K. Eichhorn
Professional Surveyor No. 21000230
May 6, 2021



REFER TO SECTION K OF
THE SUMMERTON PUD FOR
TREE CONSERVATION.

ALL SNOW REMOVAL IS THE
RESPONSIBILITY OF THE
HOA AND NOT THE TOWN.

SEE SHEET 5 FOR LAND DESCRIPTION

SHEET 1 OF 5

Prepared by: DC

THIS INSTRUMENT PREPARED BY:

KRISTOPHER K. EICHHORN
HWC ENGINEERING
135 N. PENNSYLVANIA STREET, SUITE 2800
INDIANAPOLIS, INDIANA 46204
PHONE: (317) 347-3663

DEVELOPED BY:
LENNAR HOMES OF INDIANA, LLC
11555 N. MERIDIAN ST., SUITE 400
CARMEL, INDIANA 46032
PHONE: (317) 659-3200

SUMMERTON SECTION 5

SECONDARY PLAT

TOWN OF MCCORDSVILLE

VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: _____

CABINET: _____

SLIDE: _____

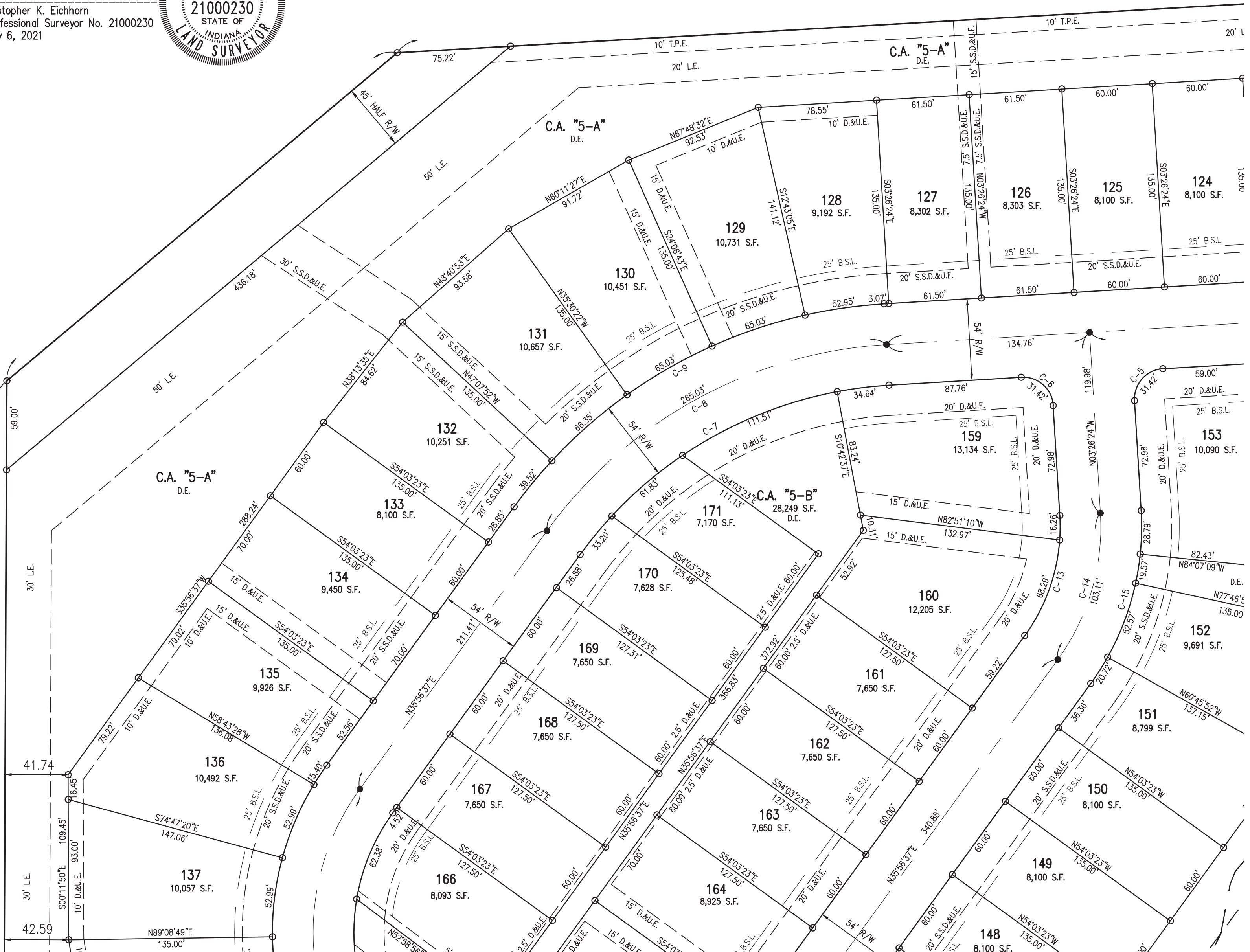
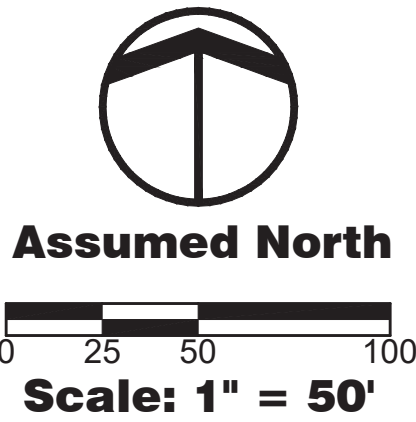
- SUBDIVISION MONUMENTS**
- DENOTES A 5/8" DIA. ALUMINUM MONUMENT 6" LONG WITH 1-1/2" DIA. ALUMINUM CAP STAMPED "HWC ENGINEERING FIRM #0114" SET FLUSH WITH THE FINISHED STREET SURFACE
 - DENOTES A 5/8" REBAR 30" LONG WITH CAP STAMPED "HWC ENGINEERING FIRM #0114" TO BE SET AT LOT CORNERS, INCLUDING BEGINNING AND ENDING OF CURVES AND THE INTERSECTION OF LINES.
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 - ✕ DENOTES FOUND 4"x4" CONCRETE MONUMENT WITH A CROSS CAST IN THE TOP, FLUSH WITH GRADE

Kristopher K. Eichhorn
Professional Surveyor No. 21000230
May 6, 2021



LEGEND	
RIGHT-OF-WAY LINE	_____
LOT LINE	_____
BOUNDARY LINE	_____
EASEMENT LINE	-----
SETBACK LINE	-----
CENTERLINE	-----
SECTION LINE	-----

LEGEND	
25	LOT NUMBER
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.D.&U.E.	SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
R.D.E.	REGULATED DRAIN EASEMENT
L.E.	LANDSCAPE EASEMENT
B.S.L.	BUILDING SETBACK LINE
P.A.E.	PEDESTRIAN ACCESS EASEMENT
R/W	RIGHT OF WAY
C.A.	COMMON AREA
S.F.	SQUARE FEET
AC	ACRES
R	RADIUS
N.A.E.	NON ACCESS EASEMENT
[1234]	STREET ADDRESS



FOR CONTINUATION SEE SHEET 4 OF 5

FOR CONTINUATION SEE SHEET 3 OF 5

SEE SHEET 1 FOR CURVE TABLE
SEE SHEET 5 FOR LAND DESCRIPTION

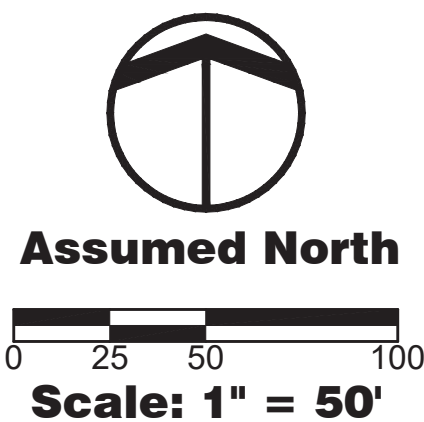
SHEET 2 OF 5

Prepared by: DC

THIS INSTRUMENT PREPARED BY:

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SUMMERTON SECTION 5

SECONDARY PLAT

TOWN OF MCCORDSVILLE

VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: _____

CABINET: _____

SLIDE: _____

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LEGEND

RIGHT-OF-WAY LINE	_____
LOT LINE	_____
BOUNDARY LINE	_____
EASEMENT LINE	_____
SETBACK LINE	_____
CENTERLINE	_____
SECTION LINE	_____

LEGEND

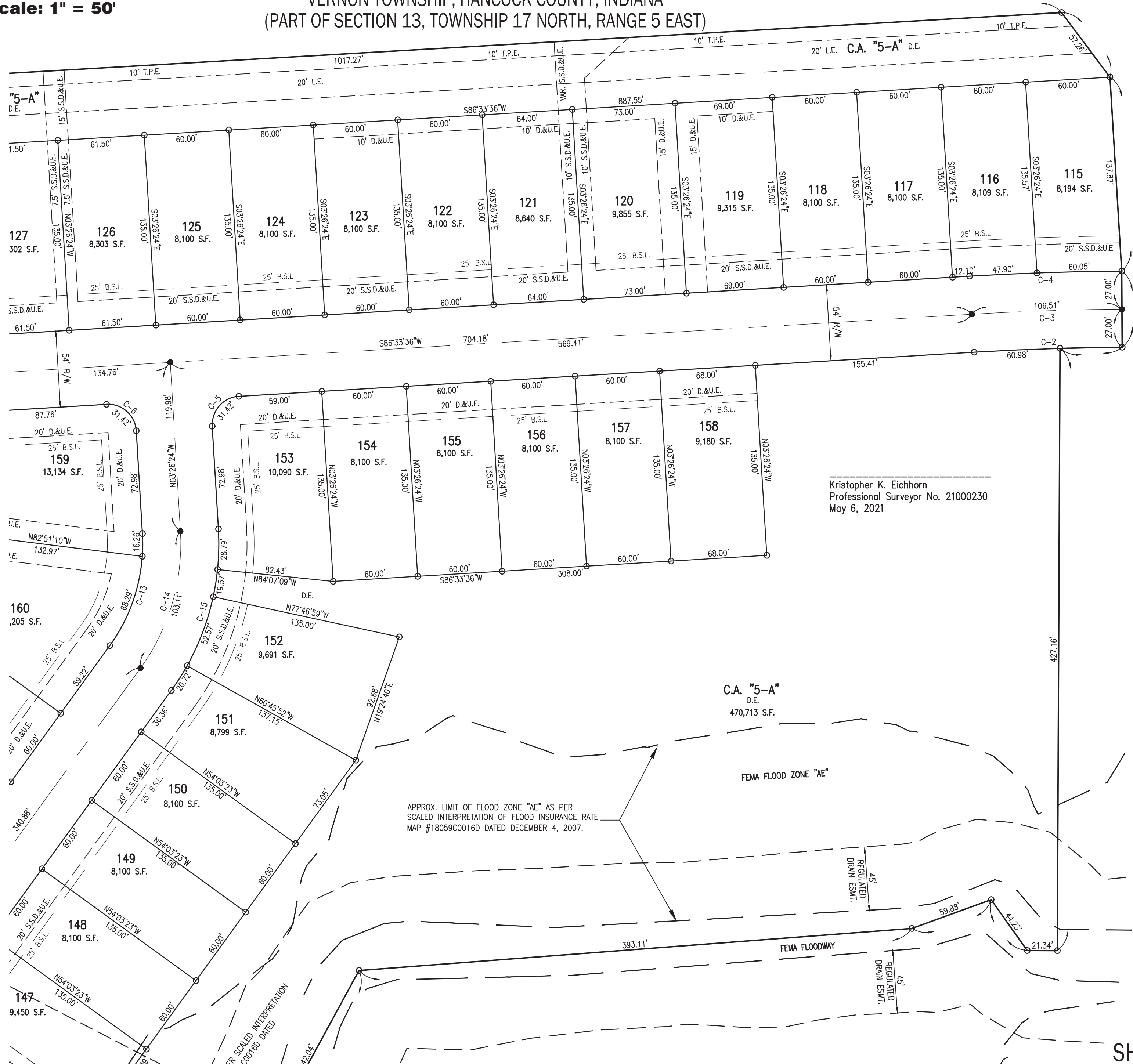
25	LOT NUMBER
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.D.&U.E.	SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
R.D.E.	REGULATED DRAIN EASEMENT
L.E.	LANDSCAPE EASEMENT
B.S.L.	BUILDING SETBACK LINE
P.A.E.	PEDESTRIAN ACCESS EASEMENT
R/W	RIGHT OF WAY
C.A.	COMMON AREA
S.F.	SQUARE FEET
AC	ACRES
R	RADIUS
N.A.E.	NON ACCESS EASEMENT
[234]	STREET ADDRESS

REFER TO SECTION K OF THE SUMMERTON PUD FOR TREE CONSERVATION.

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SEE SHEET 1 FOR CURVE TABLE
SEE SHEET 5 FOR LAND DESCRIPTION

FOR CONTINUATION SEE SHEET 2 OF 5



Kristopher K. Eichhorn
Professional Surveyor No. 21000230
May 6, 2021

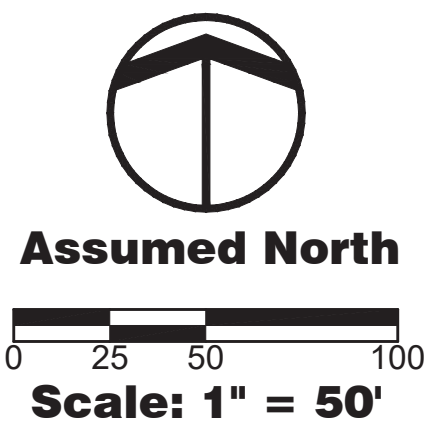
SHEET 3 OF 5

Prepared by: DC

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SUMMERTON SECTION 5

SECONDARY PLAT

TOWN OF MCCORDSVILLE

VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: _____

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LEGEND

RIGHT-OF-WAY LINE	_____
LOT LINE	_____
BOUNDARY LINE	_____
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SECTION LINE	_____

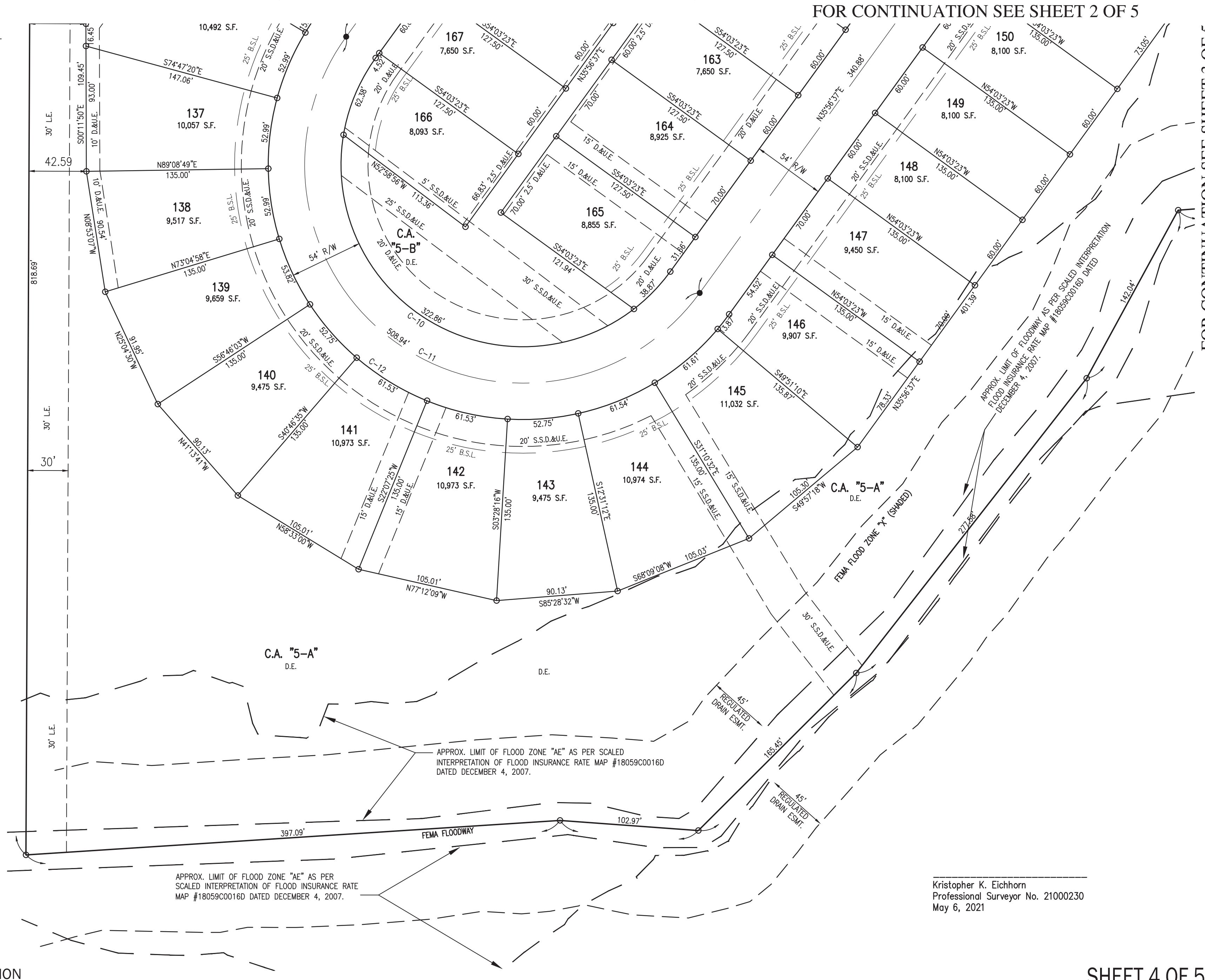
LEGEND

25	LOT NUMBER
D.E.	DRAINAGE EASEMENT
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Kristopher K. Eichhorn
Professional Surveyor No. 21000230
May 6, 2021

SHEET 4 OF 5

Prepared by: DC

Plot Date: Jan 05, 2024 Plot Time: 9:47am File Name: W:\Lennar\2020-235-E Lennar - Summertown 5\Design\CAD\20235-E-Base_Sec 5.dwg, Layout: PLAT 5 By: keichhorn

THIS INSTRUMENT PREPARED BY:

KRISTOPHER K. EICHHORN
HWC ENGINEERING
135 N. PENNSYLVANIA STREET, SUITE 2800
INDIANAPOLIS, INDIANA 46204
PHONE: (317) 347-3663

DEVELOPED BY:
LENNAR HOMES OF INDIANA, LLC
11555 N. MERIDIAN ST., SUITE 400
CARMEL, INDIANA 46032
PHONE: (317) 659-3200

LAND DESCRIPTION

Part of the Southeast Quarter of Section 13, Township 17 North, Range 5 East of the Second Principal Meridian, Vernon Township, Hancock County, Indiana, based upon a survey prepared by Michael G. Judd, Professional Surveyor Number 21500017, HWC Engineering Job Number 2020-235-S, more particularly described as follows:

COMMENCING at the southwest corner of said Southeast Quarter, marked by a railroad spike found per Hancock County Surveyor reference ties; thence North 00 degrees 15 minutes 04 seconds East (assumed bearings per ALTA/NSPS Land Title Survey recorded as Instrument Number 201805353 in the Office of the Recorder of Hancock County, Indiana) along the west line of said Southeast Quarter a distance of 907.75 feet to the approximate centerline of the Schultz & Schultz Legal Drain ditch and the POINT OF BEGINNING, thence continuing North 00 degrees 15 minutes 04 seconds East along said west line a distance of 877.69 feet to the centerline of McCord Road; thence North 49 degrees 57 minutes 15 seconds East along said centerline a distance of 337.74 feet to the south line of Steve Collins' Minor Subdivision, the plat of which is recorded in Plat Cabinet B, Slide 329 as Instrument Number 970005177 in said Recorder's Office; thence North 86 degrees 41 minutes 58 seconds East along the south line of said Steve Collins' Minor Subdivision and along the south line of Daniel Madison Minor Subdivision, a Replat of Lot 3, Steve Collins 2nd Minor Subdivision, the plat of which is recorded in Plat Cabinet C, Slide 319 as Instrument Number 130003329 in said Recorder's Office a distance of 1092.49 feet to the southeast corner of said Daniel Madison Minor Subdivision, being on the east line of the West Half of said Southeast Quarter; thence South 36 degrees 56 minutes 06 seconds East a distance of 57.26 feet; thence South 03 degrees 26 minutes 24 seconds East a distance of 137.87 feet; thence South 00 degrees 23 minutes 19 seconds East a distance of 54.00 feet; thence South 88 degrees 58 minutes 16 seconds West a distance of 44.10 feet to said east line; thence South 00 degrees 15 minutes 05 seconds West along said east line a distance of 427.16 feet to a 5/8-inch rebar with cap stamped "HWC ENGINEERING FIRM #0114"; thence along the approximate centerline of the Schultz & Schultz Legal Drain ditch the following nine (9) courses; (1) thence North 89 degrees 48 minutes 10 seconds West a distance of 21.34 feet; (2) thence North 35 degrees 21 minutes 00 seconds West a distance of 44.23 feet; (3) thence South 70 degrees 05 minutes 30 seconds West a distance of 59.88 feet; (4) thence South 85 degrees 38 minutes 19 seconds West a distance of 393.11 feet; (5) thence South 28 degrees 33 minutes 23 seconds West a distance of 142.04 feet; (6) thence South 38 degrees 01 minutes 35 seconds West a distance of 277.58 feet; (7) thence South 45 degrees 03 minutes 14 seconds West a distance of 165.45 feet; (8) thence North 85 degrees 49 minutes 48 seconds West a distance of 102.97 feet; (9) thence South 86 degrees 18 minutes 15 seconds West a distance of 397.09 feet to the POINT OF BEGINNING, containing 26.606 acres, more or less.

This subdivision consists of 57 lots numbered 115-171, all inclusive, and two (2) Common Areas denoted as C.A. "5-A", and C.A. "5-B".

Cross-Reference is hereby made to a survey plat prepared by HWC Engineering, in accordance with Title 865, Article 1, Chapter 12 of the Indiana Administrative Code, recorded as Instrument Number _____ in the Office of the Recorder of Hancock County, Indiana.

I further certify that I am a Registered Land Surveyor, licensed in compliance with the laws of the State of Indiana and that the within plat represents a subdivision of the lands surveyed within the cross referenced survey plat, and that to the best of my knowledge and belief there has been no change from the matters of survey revealed by the cross referenced survey on any lines that are common with the new subdivision.

Witness by signature this ____ day of _____, 20 ____.

Kristopher K. Eichhorn
Professional Surveyor No. 21000230

SUMMERTON SECTION 5
SECONDARY PLAT
TOWN OF MCCORDSVILLE
VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

ACCEPTANCE OF DEED OF DEDICATION

We, the undersigned Lennar Homes of Indiana, Inc., a Delaware Corporation, owners of the real estate shown and described on the plat herein and recorded in the Office of the Recorder of Hancock County, Indiana, do hereby lay off, plat and subdivide, said real estate in accordance with the within plat. We further certify that this plat is made and submitted with our free consent and desires.

This subdivision shall be known and designated as Summertown, Section 5. All streets shown and not heretofore dedicated are hereby dedicated to the public.

Dedicated right-of-way in this subdivision consists of 3.30 acres and 2,698 lineal feet as measured along the centerline of the road.

Title to the foregoing real estate is subject to a certain Declaration of Covenants, Conditions and Restrictions for Summertown, recorded as Instrument Number _____ in the Office of the Recorder of Hancock County, Indiana, and amended by Instrument Number _____ in said Recorder's Office, as the same may be amended or supplemented. Such Declaration and the Covenants and Restrictions set forth therein run with the land described hereon and are incorporated herein by reference. Each owner of a lot depicted on this plat shall take title to such lot subject to the terms and conditions of the Declaration.

Front yard building setback lines are hereby established as shown on this plat, between which lines and the property lines of the street, there shall be erected or maintained no building or structure.

A perpetual utility easement is hereby granted to any private or public utility or municipal department, their successors and assigns, within the area shown on the plat and marked "Utility Easement", to install, lay, construct, renew, operate, maintain and remove conduits, cables, pipes, poles and wires, overhead and underground, with all necessary braces, guys, anchors and other equipment for the purpose of serving the subdivision and other property with telephone, internet, cable tv, electric and gas, sewer and water service as a part of the respective utility systems; also is granted (subject to the prior rights of the public therein or other governing codes and ordinances) the right to use the streets and lots with aerial service wires to serve adjacent lots and street lights, the right to cut down and remove or trim and keep trimmed any trees or shrubs that interfere or threaten to interfere with any of the said private or public utility equipment, and the right is hereby granted to enter upon the lots at all times for all of the purposes aforesaid. No permanent structures, fences, or trees shall be placed on said area as shown on the plat and marked "Utility Easement", but same may be used for gardens, shrubs, landscaping and other purposes that do not then or later interfere with the aforesaid user or the rights herein granted.

In addition, this Deed shall dedicate to the Town of McCordsville, Indiana, any and all sewer infrastructure installed for, by or on behalf of the undersigned, said infrastructure to include but not be limited to the sewer collection system, force main, lift station, or any other component part of the sewer system which serves the subject subdivision.

The right to enforce these provisions by injunction, together with the right to cause the removal, by due process of law, of any structure or part thereof erected, or maintained in violation hereof, is hereby maintained in violation hereof, is hereby dedicated to the Town of McCordsville, Indiana, its assigns or designated agent or representative.

Be it resolved by the McCordsville Town Council, McCordsville, Indiana, that the dedications shown on this plat are hereby approved and accepted this ____ day of _____, 20 ____.

Gregory J. Brewer, Town Council President

CERTIFICATE OF OWNERSHIP

We, Lennar Homes of Indiana, LLC, do hereby certify that we are the owner of the property described in the above caption and that as such owner it has caused the said above described property to be surveyed and subdivided as shown on the herein drawn plat, as its free and voluntary act and deed.

Owner/Developer
Lennar Homes of Indiana, LLC, a Delaware Corporation

By: _____
Keith Lash, Vice President of Land

State of Indiana)
) SS
County of Hamilton)

Before me, the undersigned, a Notary Public in and for said County and State, personally appeared Keith Lash, Vice President of Land, Lennar Homes of Indiana, LLC, and acknowledged the execution of this instrument as his voluntary act and deed and affixed his signature thereto.

Witness my signature and seal this ____ day of _____, 20 ____.

Notary Public

Printed Name

County of Residence: _____

My commission expires: _____

INSTRUMENT No.: _____

CABINET: _____

SLIDE: _____

DRAINAGE COVENANT

Channels, tile drains 8-inch or larger, inlets and outlets of detention and retention ponds, and appurtenances thereto within designated drain easements are extensions of the McCordsville's stormwater drainage system and are the responsibility of the McCordsville Drainage Board and/or the McCordsville Public Works Commissioner. Drainage swales and tile drains less than 8-inch in inside diameter shall be the responsibility of the property owner or homeowner association.

A petition addressed to the McCordsville Drainage Board has been filed in duplicate with the McCordsville Town Engineer, requesting that the subdivision's storm drainage system and its casements be accepted into the regulated drain system. Channels, tile drains 8-inch or larger, inlets and outlets of detention and retention ponds, and appurtenances thereto within designated drain easements are extensions of the McCordsville's stormwater drainage system and are the responsibility of the McCordsville Drainage Board and/or the McCordsville Public Works Commissioner. Drainage swales and tile drains less than 8-inch in inside diameter shall be the responsibility of the property owner or homeowner association. The storm drainage system and its easements that are accepted in to the regulated drainage system are delineated on the plat as Regulated Drainage Easements (RDE's). Regulated Drainage Easements are stormwater easements and drainage rights of way that are hereby dedicated to the public and to McCordsville, Indiana, for the sole and exclusive purpose of controlling surface water and/or for installation, operation, and maintenance of storm sewers and tile drains as defined in McCordsville Stormwater Management Ordinance. These drainage easements are established under authority of the Indiana Drainage Code and the said Board may exercise powers and duties as provided in said code. All other storm drainage easements have not been accepted into the town's system. All drainage improvements performed relative to the conveyance of Stormwater runoff and the perpetual maintenance thereof, with the latter easements, shall be the responsibility of the owner or homeowner association. The McCordsville Drainage Board assumes no responsibility relative to said improvements or the maintenance thereof. This subdivision contains 0 linear feet of open ditches and 0 feet of subsurface drains that will be included in the Town's Regulated Drainage System.

TOWN APPROVAL

MCCORDSVILLE ADVISORY PLAN COMMISSION

This is to certify that this plat has been approved by the McCordsville Advisory Plan Commission

the ____ day of _____, 20____, under the authority provided by:

Signature _____ Signature _____

Printed Name _____ Printed Name _____

REDACTION STATEMENT

I affirm under the penalties for perjury, that I have taken reasonable care to redact each social security number in this document, unless required by law. Kristopher K. Eichhorn

PUD, COVENANTS & OTHER NOTES

The subject tract is zoned Summertown PUD ORDINANCE No. 041321A on Ordinance amending the Town of McCordsville Zoning Ordinance.

REFER TO SECTION K OF THE SUMMERTON PUD FOR TREE CONSERVATION.

ALL SNOW REMOVAL IS THE RESPONSIBILITY OF THE HOA AND NOT THE TOWN.

SHEET 5 OF 5

Prepared by: DC