

THIS INSTRUMENT PREPARED BY:

BRADY KUHN PROFESSIONAL LAND SURVEYOR
INDIANA #20500007
KUHN & GUSTAFSON LAND SURVEYING, INC.
P.O. BOX 70
ZIONSVILLE, IN 46077

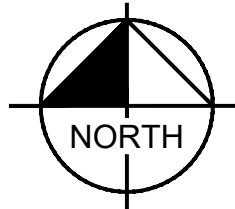
INSTRUMENT PREPARED FOR:

CW-HAMPTON WALK, LLC
C/O FISCHER HOMES INDIANAPOLIS II, LLC
6602 E. 75TH STREET, SUITE 400
INDIANAPOLIS IN, 46250
CONTACT: PAUL MUNOZ
PHONE: (765) 513-6535
EMAIL: pmunoz@fisherhomes.com

DATE PREPARED: 04/20/2023

HAMPTON WALK - SECTION 3

PART OF THE SOUTHEAST QUARTER OF SECTION 26-T17N-R5E
IN HANCOCK COUNTY, INDIANA



ASSUMED NORTH
GRAPHIC SCALE IN FEET
0 75 150 300

HAMPTON WALK
LOT AND YARD REQUIREMENTS

	Subarea A. Townhome/ Collection	Subarea B. Designer Collection	Subarea C. Masterpiece Collection
Standard	M61	R5	R5
Default Zoning District Base Layer	M61	R5	R5
Max. Number of Lots	131	53	74
Min. Lot Area (sq ft)	3,300	7,200	5,700
Min. Living Area (sq ft)	1,500	1,500	1,500
Min. Ground Floor Living Area 1-story bldg (sq ft)	745	950	830
Min. Ground Floor Living Area multi-story bldg (sq ft)	615	720	730
Min. Lot Width at Bldg Line (ft)	20	60	50
Min. Front Yard Setback (ft)	10	25	25
Min. Side Yard Setback (ft)	0	5	5
Min. Rear Yard Setback (ft)	20	20	20
Max. Lot Coverage (% of all impervious surfaces)	None	50%	50%
Max. Principal Structure Height (ft)	40	40	40

	Subarea D. Patio Collection	Subarea E. Paired Patio Collection	Subarea F. Masterpiece Collection
Standard	R5	M61	R4
Default Zoning District Base Layer	R5	M61	R4
Max. Number of Lots	27	47	43
Min. Lot Area (sq ft)	4,000	3,600	10,400
Min. Living Area (sq ft)	1,500	1,500	1,500
Min. Ground Floor Living Area 1-story bldg (sq ft)	1,400	1,400	1,500
Min. Ground Floor Living Area multi-story bldg (sq ft)	740	810	1,500
Min. Lot Width at Bldg Line (ft)	55	30	80
Min. Front Yard Setback (ft)	25	25	30
Min. Side Yard Setback (ft)	5	5	5
Min. Rear Yard Setback (ft)	20	10	25
Max. Lot Coverage (% of all impervious surfaces)	50%	None	45%
Max. Principal Structure Height (ft)	40	40	40

PUD NOTE:

THE SUBJECT TRACT IS ZONED _____, TOWN OF
McCORDSVILLE, HANCOCK COUNTY, INDIANA, ORDINANCE
NO. 121410, AS AMENDED, AN ORDINANCE TO AMEND THE
HANCOCK COUNTY, INDIANA AREA ZONING ORDINANCE.
THE HANCOCK COUNTY CODE AN THE OFFICIAL ZONING
MAP, _____.

LEGEND

100	LOT NUMBER
B.S.L.	BUILDING SETBACK LINE
D.E.	DRAINAGE EASEMENT
D.U.E.	DRAINAGE & UTILITY EASEMENT
D.U.&S.S.E.	DRAINAGE UTILITY & SANITARY SEWER EASEMENT
C.A.	COMMON AREA
R/W	RIGHT OF WAY
L.M.A.E.	LANDSCAPE MAINTENANCE ACCESS EASEMENT
VAR.	VARIABLE
T.O.B.E.	TOP OF BANK EASEMENT

SUBDIVISION MONUMENTATION

AN AFFIDAVIT, CROSS-REFERENCED TO THIS RECORDED
PLAT, WILL BE RECORDED AFTER THE SUBDIVISION
MONUMENTATION HAS BEEN COMPLETED. PER STANDARDS
SET FORTH IN TITLE 845 IAC 1-12-18 SUBSECTION (b)(1)(2), THE
INSTALLATION OF BELOW MENTIONED MONUMENTS MAY BE
DELAYED FOR UP TO TWO YEARS FROM RECORDATION OF
PLAT.

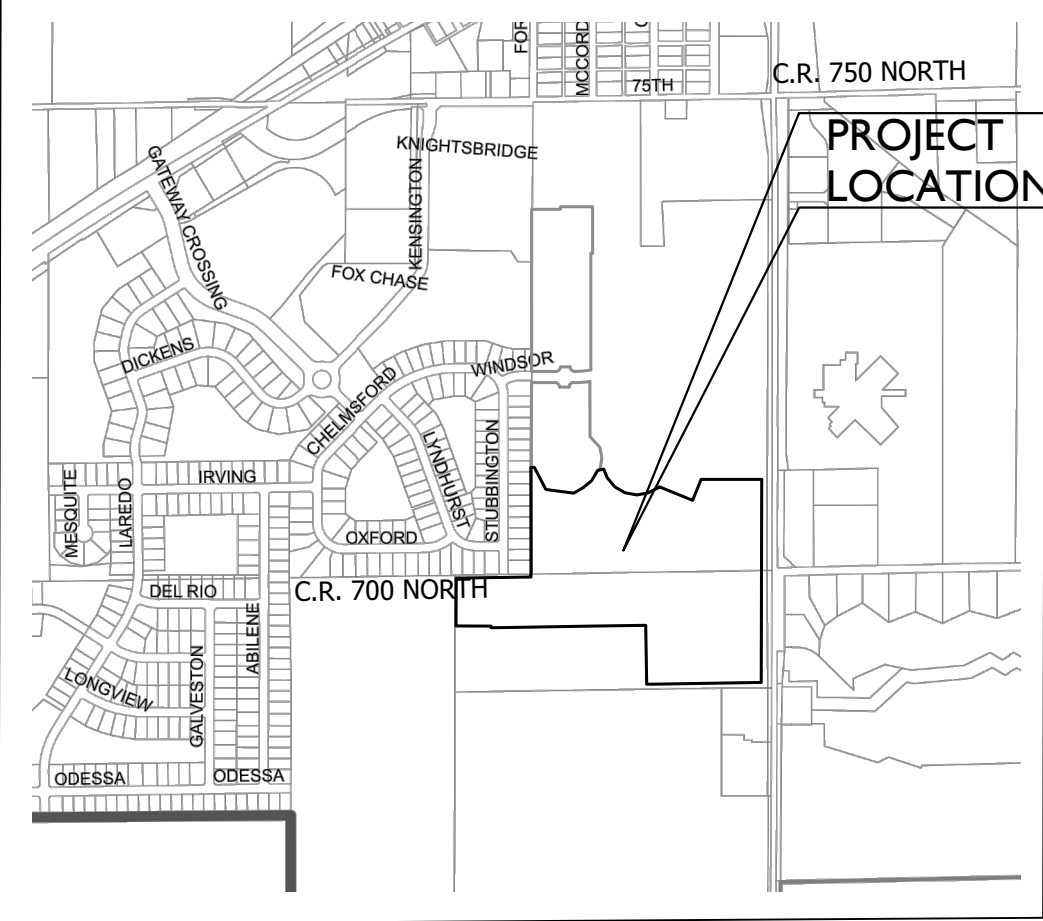
- DENOTES A 5/8"x30" REBAR WITH CAP STAMPED, "HAMILTON
- FIRM #0104" SHALL BE SET AT ALL LOT OR PARCEL CORNERS
AS DEPICTED HEREON.
- DENOTES A 4"x4"x36" LONG PRECAST CONCRETE
MONUMENT WITH A CROSS CAST IN THE TOP. SET FLUSH WITH
THE FINISH GRADE.
- DENOTES A STREET CENTERLINE MONUMENT. EITHER A
ALUMINUM MONUMENT STAMPED "HAMILTON FIRM 0104, SET
FLUSH WITH THE FINISHED SURFACE COAT OR A 2" MAG NAIL,
TEMPORARILY SET FLUSH WITH THE INTERMEDIATE COAT
(BINDER).

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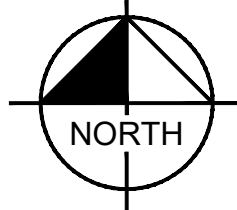
LOCATION MAP

(NOT TO SCALE)



HAMPTON WALK - SECTION 3

PART OF THE SOUTHEAST QUARTER OF SECTION 26-T17N-R5E
IN HANCOCK COUNTY, INDIANA



MATCHLINE - SEE SHEET 5

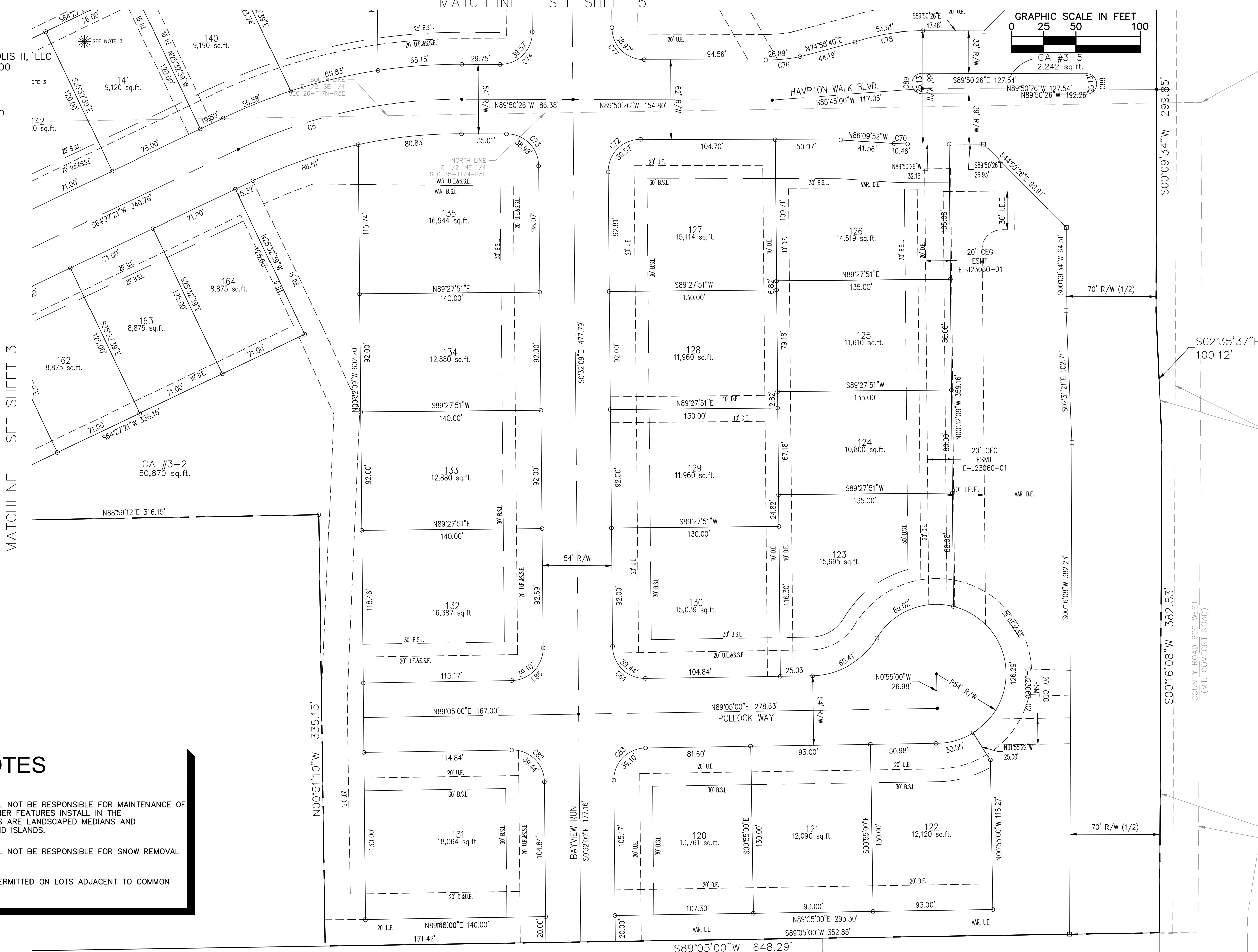
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NOTES

1. THE TOWN OF McCORDSVILLE SHALL NOT BE RESPONSIBLE FOR MAINTENANCE OF ANY LANDSCAPE, SIGNAGE, OR OTHER FEATURES INSTALL IN THE RIGHT-OF-WAY. EXAMPLES OF THIS ARE LANDSCAPED MEDIANS AND LANDSCAPED CURB BULB-OUTS AND ISLANDS.
2. THE TOWN OF McCORDSVILLE SHALL NOT BE RESPONSIBLE FOR SNOW REMOVAL OF ALL INTERNAL STREETS.
3. PRIVACY FENCES SHALL NOT BE PERMITTED ON LOTS ADJACENT TO COMMON AREAS.

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ADJOINER
ROGER COBB
INSTRUMENT NO. 0105042

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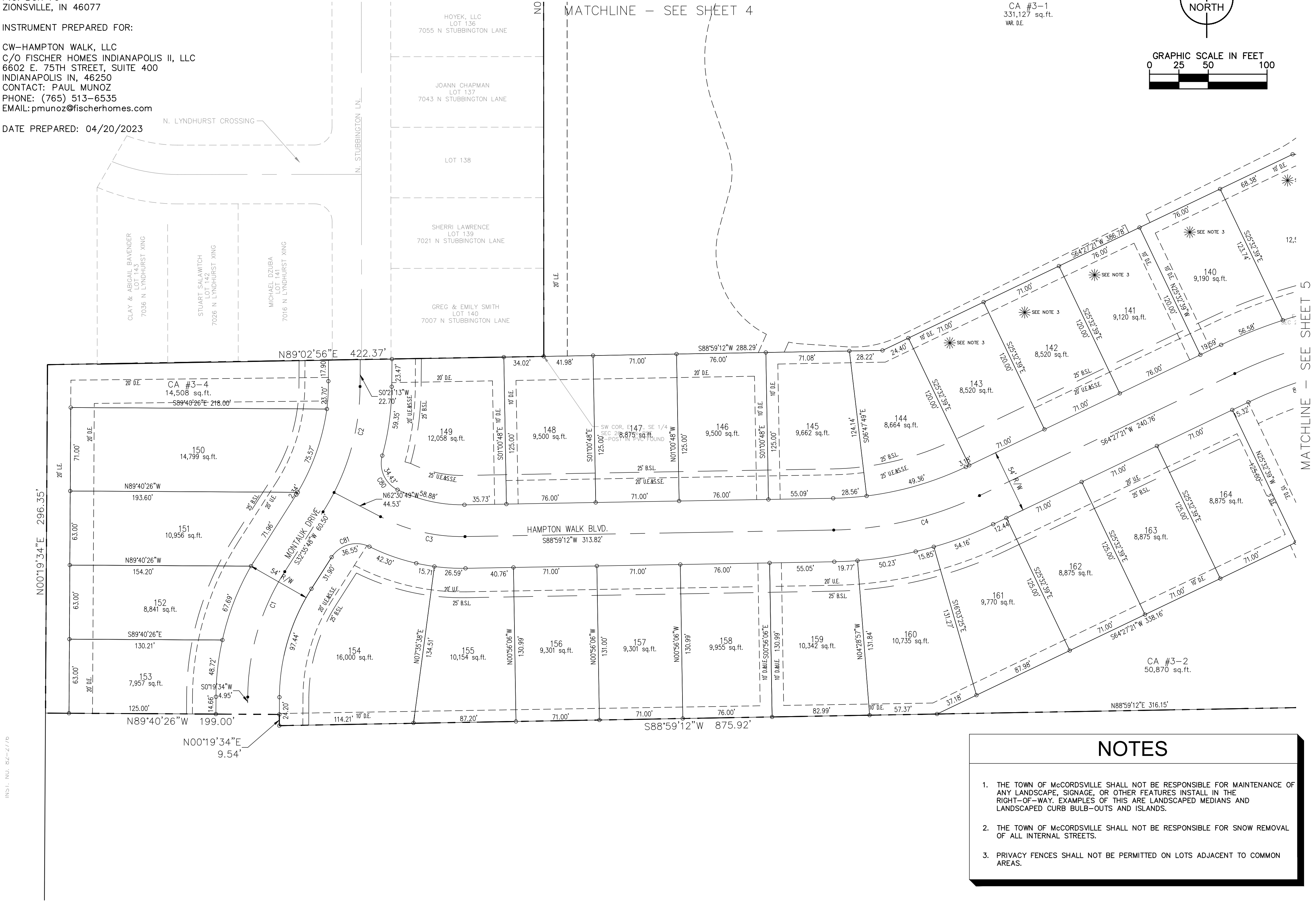
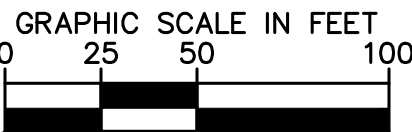
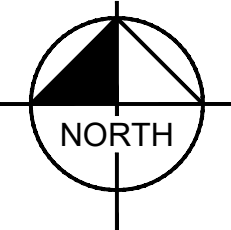
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CA #3-1
331,127 sq.ft.
WR DE



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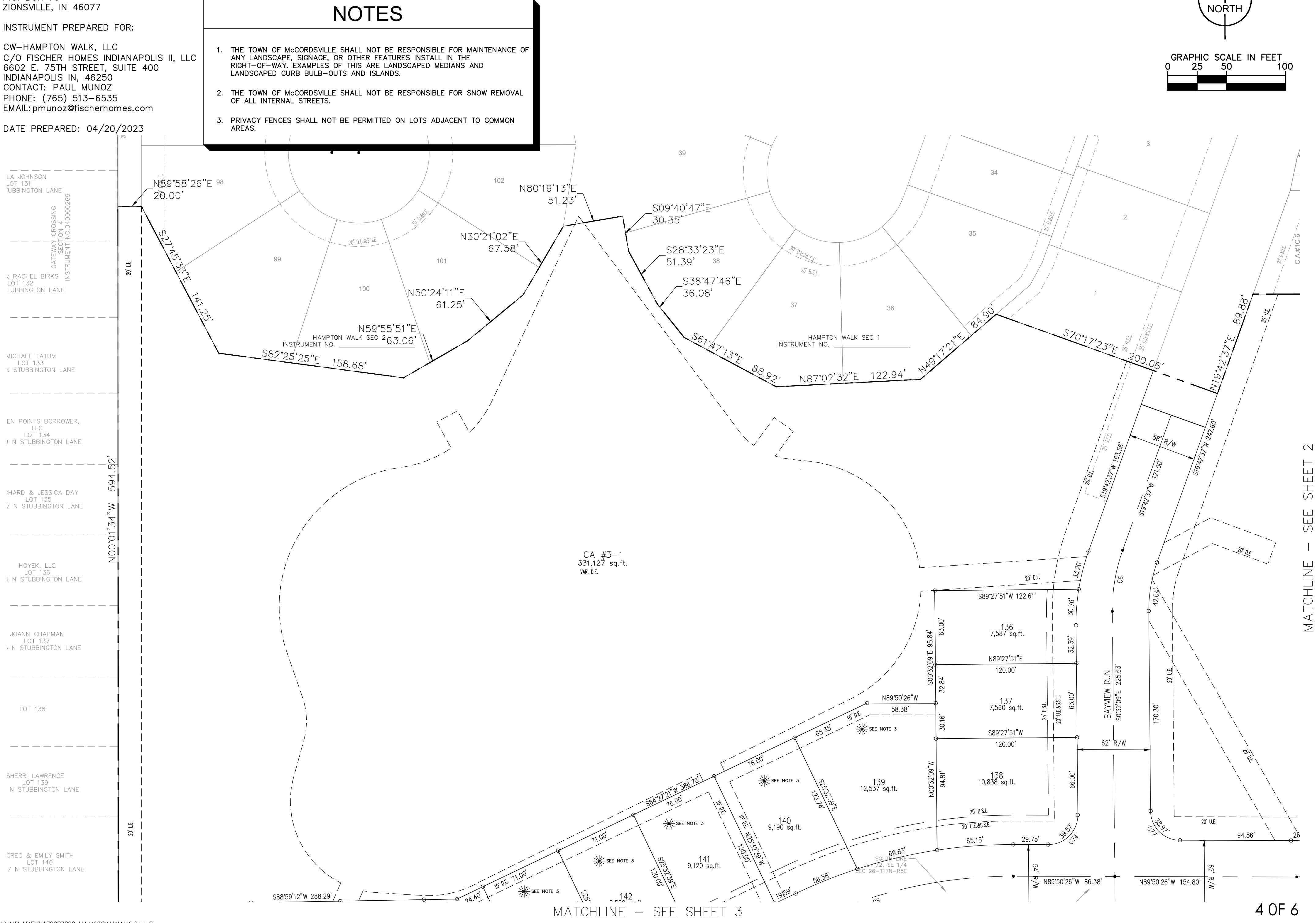
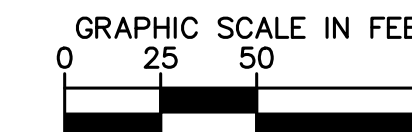
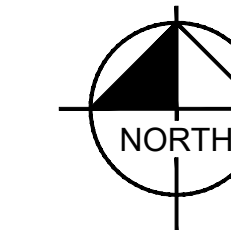
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IN HANCOCK COUNTY, INDIANA



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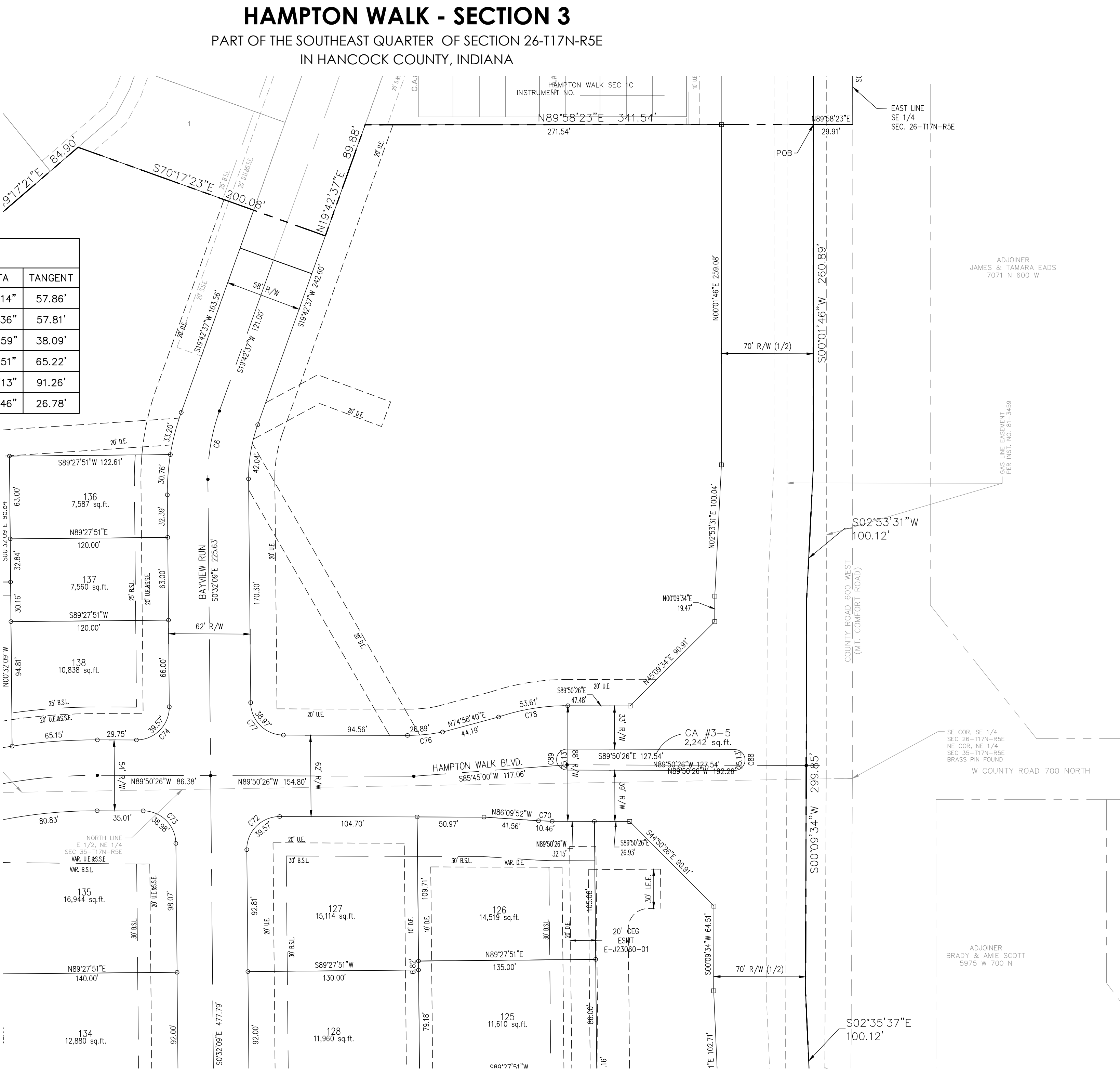
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CURVE TABLE: ALIGNMENTS						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	200.00'	112.65'	S16°27'41"W	111.16'	32°16'14"	57.86'
C2	200.00'	112.55'	S16°28'31"W	111.07'	32°14'36"	57.81'
C3	150.00'	74.61'	N76°45'49"W	73.85'	28°29'59"	38.09'
C4	300.00'	128.44'	S76°43'17"W	127.46'	24°31'51"	65.22'
C5	400.00'	179.44'	S77°18'28"W	177.94'	25°42'13"	91.26'
C6	150.00'	53.00'	S9°35'14"W	52.73'	20°14'46"	26.78'



K:\IND_LDEV\170227003_HAMPTON WALK_Sec_3

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IN HANCOCK COUNTY, INDIANA

CERTIFICATE OF OWNERSHIP

WE, CW-HAMPTON WALK, LLC A DELAWARE LIMITED LIABILITY COMPANY, DO HEREBY CERTIFY THAT IT IS THE OWNER OF THE PROPERTY DESCRIBED IN THE ABOVE CAPTION AND THAT AS SUCH OWNER IT HAS CAUSED THE SAID ABOVE DESCRIBED PROPERTY TO BE SURVEYED AND SUBDIVIDED AS SHOWN ON THE HEREIN DRAWN PLAT, AS ITS FREE AND VOLUNTARY ACT AND DEED.

CW-HAMPTON WALK, LLC, BY
FISCHER HOMES INDIANAPOLIS II, LLC ITS ATTORNEY-IN FACT, UNDER DOCUMENT
RECORDED 02-03-2023 AS INSTRUMENT NUMBER 202301043

BY: _____
BRADLEY, A. KRINER, VICE PRESIDENT

THIS IS AN ACKNOWLEDGEMENT CLAUSE: NO OATH OR AFFIRMATION WAS ADMINISTERED TO THE SIGNER. THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2023 BY _____ OF CW-HAMPTON WALK, LLC, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ON BEHALF OF THE COMPANY.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

REGISTERED LAND SURVEYOR'S CERTIFICATE

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA AND THAT THE WITHIN PLAT REPRESENTS A SUBDIVISION OF THE LANDS SURVEYED WITHIN THE CROSS-REFERENCED SURVEY PLAT, AND AS EXCEPT AS NOTED, THERE HAS BEEN NO CHANGE FROM THE MATTERS OF SURVEY REVEALED BY THE CROSS-REFERENCED SURVEY ON ANY LINES THAT ARE COMMON WITH THE NEW SUBDIVISION. I FURTHER CERTIFY THAT THE SAID SUBDIVISION WAS PLATTED UNDER MY DIRECT SUPERVISION AND CONTROL AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REDACTION STATEMENT:

"I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW." - BRADY KUHN

BRADY KUHN, PS
INDIANA REGISTRATION NO 20500007

STATE OF _____)

_____) SS:
_____ COUNTY)

BEFORE ME THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY AND STATE, PERSONALLY APPEARED TERRY WRIGHT AND ACKNOWLEDGED THE EXECUTION OF THE FORGOING INSTRUMENT AS THEIR VOLUNTARY ACT AND DEED.

WITNESS MY HAND AND NOTARY SEAL THIS _____ DAY OF _____, 2023.

SIGNATURE: _____

PRINTED NAME: _____

MY COMMISSION EXPIRES: _____

COUNTY OF RESIDENCE: _____

THE PROPERTY SHOWN AND PLATTED HEREON IS SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF HAMPTON WALK SUBDIVISION RECORDED AS INSTRUMENT NUMBER _____ IN PLAT BOOK _____, PAGE(S) _____, IN THE OFFICE OF THE RECORDER FOR HANCOCK COUNTY, INDIANA AND ANY AMENDMENTS THERETO.

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