



Know what's below.
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Primary Plat Gatherings at Aurora Snider Planned Unit Development

Section 36 - Township 17 North - Range 5 West
Vernon Township, Hancock County

Land Owner:
David Snider & Charles Snider & John Gunn
5401 W 700 N
McCordsville, IN 46055

Parcel ID Number:
30-01-36-100-003.000-016

Current Zoning:
PUD - Ordinance No. 101122D - Snider Planned Unit Development

Legal Description

The West Half of the Northeast Quarter of Section 36, Township 17 North, Range 5 East of the Second Principal Meridian, Vernon Township, Hancock County, Indiana, being the property granted to David Snider, Charles C. Snider, and Pamela Kuhn ("Snider Tract"), recorded as Instrument Number 0212549 in the Office of the Recorder of Hancock County, Indiana, more particularly described as follows:

BEGINNING at the Northwest Corner of the Northeast Quarter of said Section 36, Township 17 North, Range 5 East (the following four courses are along the boundary of said Snider Tract): (one) thence North 88 degrees 47 minutes 15 seconds East (Basis of Bearings: Indiana State Plane, East Zone, NAD 83) 1319.60 feet along the North Line of the West Half of said Northeast Quarter to the Northeast Corner thereof; (two) thence South 00 degrees 10 minutes 59 seconds West 2650.47 feet along the East Line of said West Half coincident with the western boundaries of the tracts of lands granted to Sandra E. Cropper (recorded as Instrument Number 201900305 in said Recorder's Office) and the tract of land granted to Jacobi Legacy Farms, LLC (recorded as Instrument Number 201711625 in said Recorder's Office) to the southwestern corner thereof common with the Southeast Corner of said West Half, being on the northern boundary of Woodhaven Section 8 Plat (recorded as Instrument Number 202202565 in said Recorder's Office); (three) thence South 89 degrees 10 minutes 57 seconds West 1320.49 feet along said northern boundary coincident with the South Line of said West Half to the Southwest Corner thereof being on the eastern boundary of the tract of land granted to Abdolaziz M. and Masoomeh Ardalan ("Ardalan Tract") (recorded as Instrument Number 202200614 in said Recorder's Office); (four) thence North 00 degrees 12 minutes 24 seconds East 2641.39 feet along the West Line of said West Half coincident with the eastern boundaries of the Ardalan Tract, the tract of land granted to Oaklondon Christian Church, Inc. (recorded as Instrument Number 040018585 in said Recorder's Office) and the tract of land granted to Christopher Thomas Wood (recorded as Instrument Number 110011871 in said Recorder's Office) to the POINT OF BEGINNING, containing 80.164 acres, more or less.

Project Summary

A. The Development Standards – 80s

- | | |
|--|---------------------------------------|
| 1. Maximum Number of Lots on the concept plan) | 10 (location depicted by an asterisk) |
| 2. Minimum Lot Area | 10,000 square feet |
| 3. Minimum Lot Width at Building Line | 80 feet |
| 4. Minimum Setbacks: | |
| a. Front-yard Setback | 25 feet |
| b. Side-yard Setback | 10 feet |
| c. Rear-yard Setback | 15 feet |
| 5. Minimum Livable Floor Area (Dwelling Unit) | |
| a. One-story | 2,050 Square Feet |
| b. One & half story (optional loft) | 2,670 Square Feet |
| 6. Maximum Height-Principal | 35 feet |
| 7. Maximum Dwelling Units per Lot | 1 |
| 8. Maximum No. of Dwelling Units | 10 |

B. The Development Standards – 65s

- | | |
|---|-------------------|
| 1. Maximum Number of Lots | 160 |
| 2. Minimum Lot Area | 8,400 square feet |
| 3. Minimum Lot Width at Building Line | 65 feet |
| 4. Minimum Setbacks: | |
| a. Front-yard Setback | 25 feet |
| b. Side-yard Setback | 5 feet |
| c. Rear-yard Setback | 15 feet |
| 5. Minimum Livable Floor Area (Dwelling Unit) | |
| a. One-story | 2,050 Square Feet |
| b. One & half story (optional loft) | 2,670 Square Feet |
| 6. Maximum Height-Principal | 35 feet |
| 7. Maximum Dwelling Units per Lot | 1 |
| 8. Maximum No. of Dwelling Units | 160 |

Lot Density = 2.12 Units per Acre

Open Space = 1,127,903 Sft = 32.30%

Utility Provider Contacts

Regulated Drainage System
Hancock County Surveyor's Office
111 South American Legion Place Suite 171
Greenfield, IN 46140
(317) 477-1150
Contact: Chad Coughenour

Storm Sewer
Town of McCordsville
Department of Public Works
6280 West County Road 800 North
McCordsville, IN 46055
(317) 335-3493
Contact: Ron Crider

Streets
Town of McCordsville
Department of Public Works
6280 West County Road 800 North
McCordsville, IN 46055
(317) 335-3493
Contact: Ron Crider

Electrical Service
Nine Star Connect
2243 East Main Street
Greenfield, IN 46140
(317) 323-2074
Contact: Eric Meyer
emeyer@ninestarconnect.com

Potable Water Service
Citizens Energy Group - Water CW Authority, Inc
2150 Dr. Martin Luther King, Jr. Street
Indianapolis, IN 46202
(317) 927-4351
Contact: Brad Hostettler

Sanitary Sewer Service
McCordsville Public Works
6280 West County Road 800 North
McCordsville, IN 46055
(317) 335-3493
Contact: Ron Crider

School System
Mount Vernon Community School Corporation
1806 West State Road 234
Fortville, IN 46040
Contact: Dr. Jack Parker
(317) 485-3100

Post Office
U.S. Postal Service
7397 North County Road 600 West Suite 1000
McCordsville, IN 46055
(317) 336-6446

Natural Gas
Centerpoint Energy
16000 Allisonville Road
Noblesville, Indiana 46061
Contact: Sandra Casey

Internet Service
Nine Star Connect
2243 East Main Street
Greenfield, IN 46140
(317) 323-2074
Contact: Eric Meyer
emeyer@ninestarconnect.com

Cable Services
Bright House Networks
3030 Roosevelt Avenue
Indianapolis, IN 46218
Contact: Joe Burton
joe.burton@charter.com

Electric Transmission Lines
AES Asset Protection
2727 Central Avenue
Columbus, IN 47201
(812) 375 - 2021
Contact: Ryan Daugherty
ryan.daugherty@duke-energy.com

Notes:

- The HOA shall be responsible for snow removal of all internal streets.
- The Town of Mc Cordsville shall not be responsible for any maintenance of any landscaping, fencing, or signage located in the public right-of-way.

Local Jurisdictional Contacts

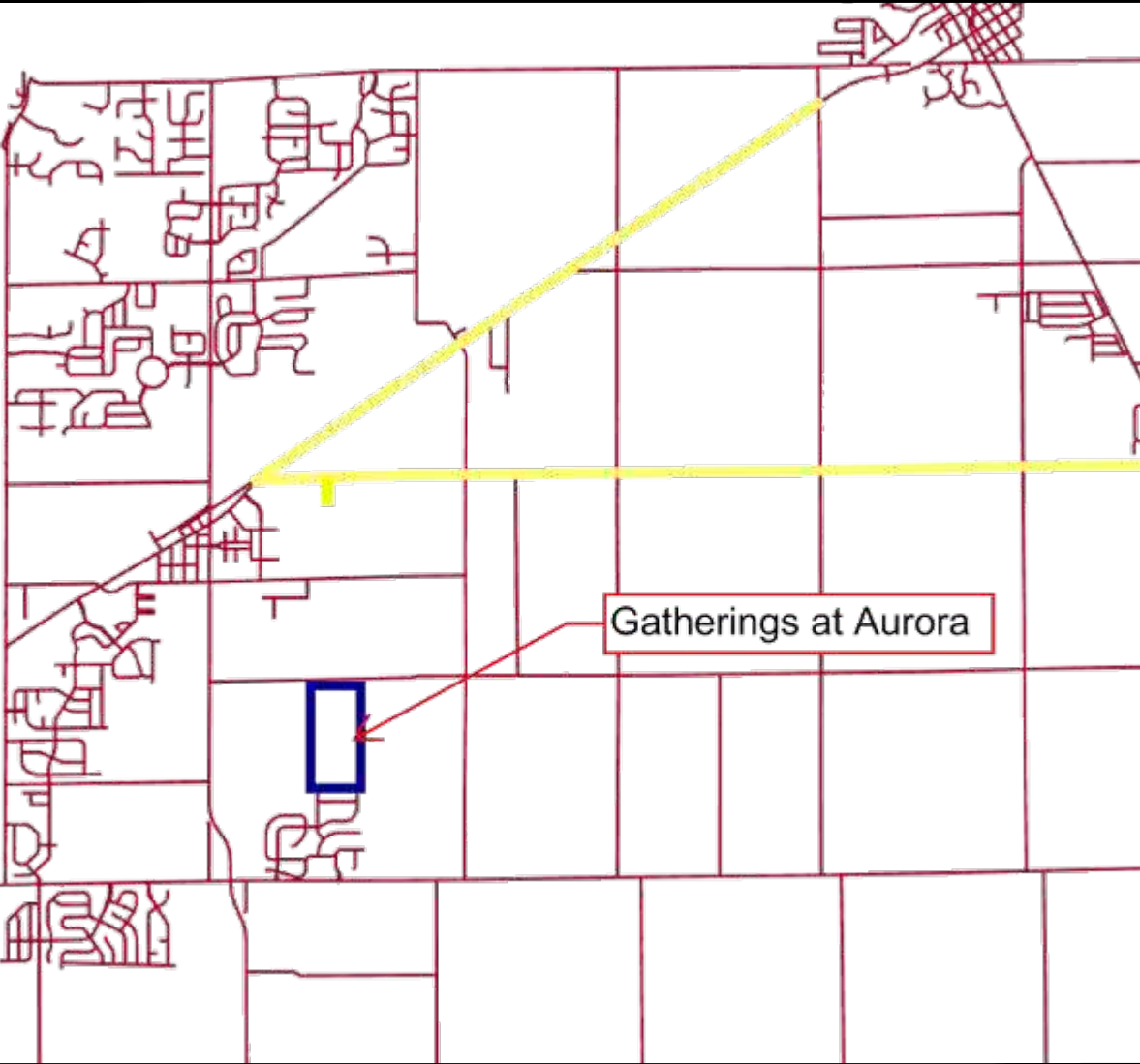
Planning and Zoning Authority
Town of McCordsville
6280 West County Road 800 North
McCordsville, IN 46055
(317) 335-3604
Contact: Ryan Crum - Director

Building & Inspection Authority
Town of McCordsville
6280 West County Road 800 North
McCordsville, IN 46055
(317) 335-3604
Contact: Ryan Crum - Director

Local Law Enforcement
Town of McCordsville
6280 West County Road 800 North
McCordsville, IN 46055
(317) 335-2812

Fire & Rescue
Vernon Township Fire Department
600 Vitality Drive
Fortville, IN 46040
(317) 485-7327
Contact: Tara Conely

Area Map



Vicinity Map

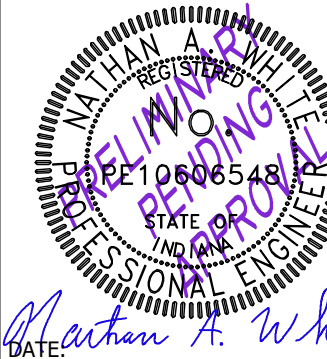


Sheet Index

Sheet No.	Description
C100	Title Sheet
S101	ALTA/NSPS/Topographic Land Survey
S102	ALTA/NSPS/Topographic Land Survey
S103	ALTA/NSPS/Topographic Land Survey
C001	General Legend
C101	Primary Plat
C102	Primary Plat
C103	Primary Plat
C104	Conceptual Development Plan
C105	Conceptual Development Plan
C106	Conceptual Development Plan
C107	Conceptual Development Plan
C108	Proposed Phasing Plan
C109	Conceptual Street Lighting Plan
C110	Roadway Sections, Lot Summary & Miscellaneous Mapping
L000-L301	Conceptual Landscape Plan

REVISIONS:

Nathan White Engineering, L.L.C. d.b.a.
BENCHMARK CONSULTING, INC.
69 AUGUSTA DRIVE BROWNSBURG, IN 46112
(317) 852-5695
Project Manager: Nathan White
nwhite@benchmarkcon.com



Beazer Homes
9465 Counselors Row, Suite 125
Indianapolis, IN 46240
317-714-4118
Sean Sullivan
sean.sullivan@beazer.com

Gatherings at Aurora
Planned Unt Development
McCordsville, Indiana
Title Sheet

DATE: 01/19/23
CHECKED BY: N.A.W.
PROJECT NUMBER: 22007
SHEET # C100

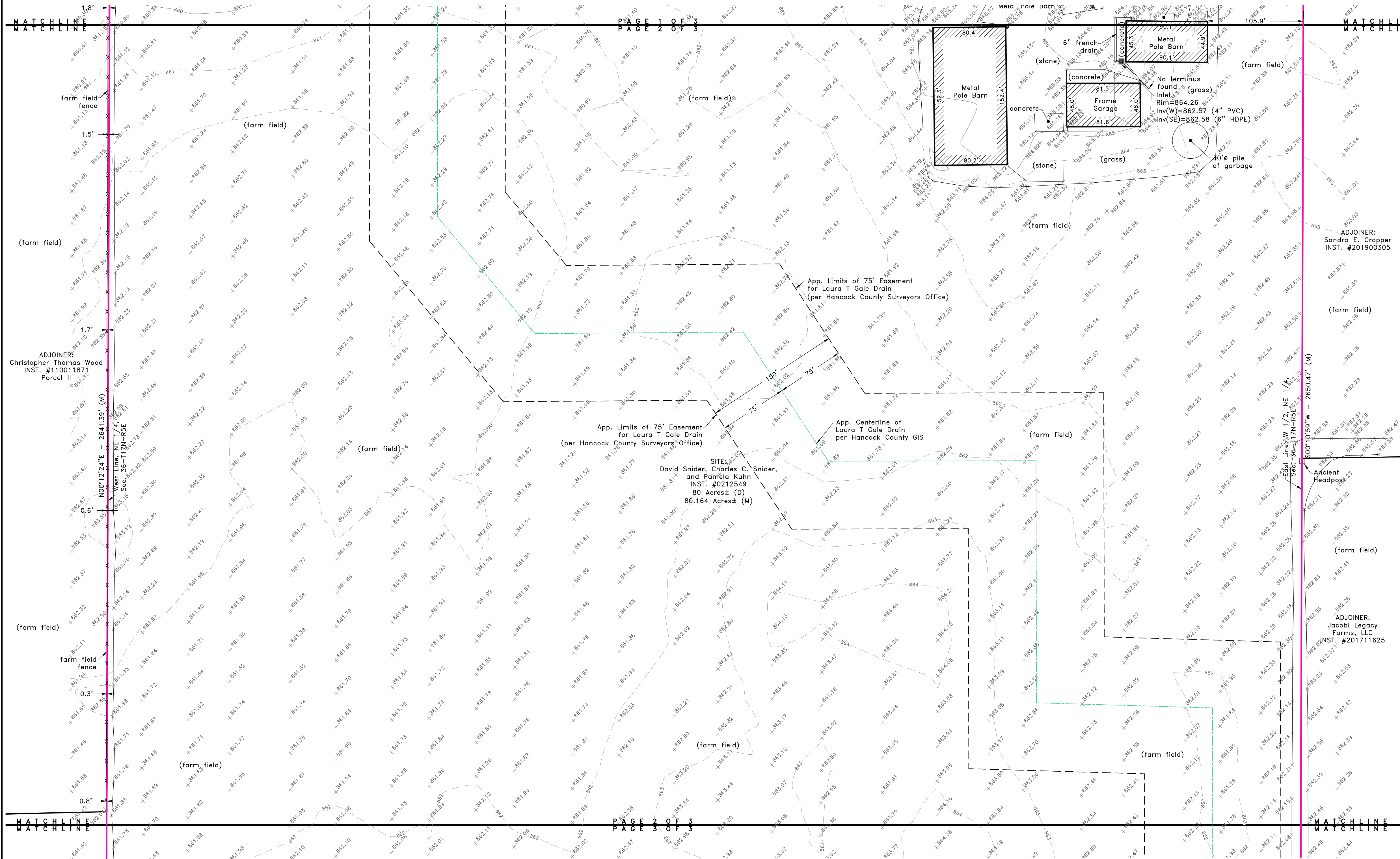


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PROJECT NUMBER
22-039

SHEET 1 OF 3

ALTA/NSPS/TOPOGRAPHIC LAND TITLE SURVEY



SURVEYOR'S REPORT

In accordance with Title 36, Article 1.1, Chapter 12, Sections 1 through 19 of the Indiana Administrative Code, the following observations and opinions are submitted regarding the various uncertainties in the locations of the lines and corners established on this survey as a result of:

- Variances in the reference monuments;
- Discrepancies in record descriptions and plats;
- Inconsistencies in lines of occupation and;
- Random errors in measurement (Theoretical Uncertainty)

A.) This is a retracement survey of the tract of land granted to David Snider, Charles C. Snider, and Pamela Kuhn, recorded as Instrument Number 0212549 in the Office of the Recorder of Hancock County, Indiana. The herein surveyed property is the West Half of the Northeast Quarter of Section 36, Township 17 North, Range 5 East of the Second Principal Meridian, Vernon Township, Hancock County, Indiana. The Northwest Corner of said Northeast Quarter, the Southeast Quarter of said Section 36, the South Corner of said Section 36, and the Northwest Corner of said Section 36, are all Brass Disks found at the surface. The Northeast Corner of said Northeast Quarter is a MAG Nail without a washer found at the surface. All of the aforementioned corners were found by the references supplied by the Office of the Surveyor of Hancock County, Indiana and accepted as prima facie evidence for purposes of this survey and were used to control the lines of the surveyed parcel. The West Corner of said Section 36 is a rebar found at the surface. The Southwest Corner of said Section 36 is a Brass Disk found at the surface. The Southwest Corner of said Northeast Quarter is a 'Weir' capped rebar found 0.1 feet below the surface. The location of the Southeast Corner of the West Half of said Northeast Quarter was determined by holding the locations of physical evidence (i.e. iron pipe, barn, field division lines, and ancient headpost) found along the East Line of said West Half. There appears to be 19.8 feet of uncertainty in this corner due to a 'Weir' capped rebar found at the midpoint of the South Line of said Northeast Quarter. There is 19.5 feet of uncertainty in the Northeast Corner of said West Half, due to the midpoint lying 19.5 feet easterly of the physical location of the East Line of said West Half. Typically, the Half Quarter Section Lines would be determined by connecting the midpoints of the North and South Lines of the Quarter Section. In this case if said midpoints were held the East Line of said West Half would lie 19 feet easterly of the previously stated physical evidence.

Items 1) through 12) No comment.

Item 13) See TRANSMISSION LINE EASEMENT recorded July 11, 1979 as Instrument Number 79-03448 for the creation of a 150-foot transmission line easement along the southern boundary line of the surveyed property, the majority of the easement lies southerly of the surveyed property, as shown herein. According to Woodhaven Section 8 Secondary Plat (recorded as Instrument Number 202202565) there is an additional 150-foot-wide transmission line easement along said southern boundary line, as shown herein. The document describing said additional easement was not provided or found at the time of this survey.

Item 14) through 17) No comment.

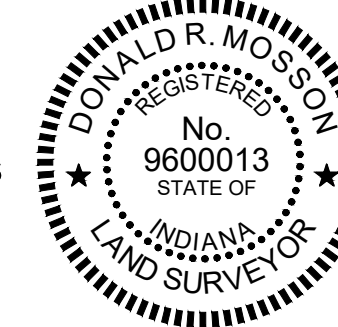
There are no: (i) encroachments upon the subject property by improvements on adjacent property; (ii) encroachments on adjacent property, streets or alleys by improvements on the subject property; (iii) no party walls; or (iv) no visible and apparent conflicts or protrusions except as shown herein.

To: Beazer Homes Indiana LLP, an Indiana limited liability partnership; and First American Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1-5, 6-9, 11(a), 13, and 15-19 of Table A thereof. The field work was completed on June 29, 2022.

Date: July 8, 2022

Donald R. Mossion
Indiana Registration No. 9600013



As a result of the above observations, it is my opinion that the uncertainties in the locations of the lines and corners established on this survey are as follows:

Due to variances in reference monuments: 19.8 feet;

Due to discrepancies in the record description: 0 feet;

Due to inconsistencies in lines of occupation: 0 feet;

Due to random errors in measurement: 0.07 feet +/- 50 ppm

Mailing Address of Site: 5401 West County Road 700 North, McCordsville, Indiana 46055

Basis of Bearing System: The bearing of the North Line of the Northeast Quarter of Section 36, Township 17 North, Range 5 East was assumed to be North 88 degrees 47 minutes 15 seconds East and the West Line of said Northeast Quarter was assumed to be North 00 degrees 12 minutes 24 seconds East based upon GPS observations taken at the time of the survey in Indiana State Plane, East Zone, NAD83.

RECORD LAND DESCRIPTION

LAND DESCRIPTION
(from Title Commitment)

The West half of the Northeast quarter of Section 36, Township 17 North, Range 5 East, Hancock County, Indiana, containing 80 acres, more or less.

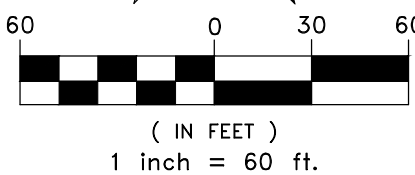
MODERNIZED LAND DESCRIPTION

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"I affirm, under penalties for perjury, I have taken reasonable care to reduce to writing the facts and conclusions of this document, unless required by law."

Donald R. Mossion

IUPPS - 811 TICKET REQUEST NUMBER(S):

2206296859

UTILITY STATEMENT:

The underground utilities shown have been located from field survey information and existing drawings. Field survey information consisting of paint markings found on the ground per the Indiana Underground Plant Protection Survey (IUPPS - 811). The paint markings shown herein as evidence of probable underground utility locations and are consistent with typical utility markings. However, no utility report was provided to authenticate these markings. The user of this platmap should rely upon such markings at their own risk. The surveyor makes no guarantees the underground utilities comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant the underground utilities shown are in the exact location indicated, although the surveyor does certify they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

REVISED 12/03/2022	FIELD TOPOGRAPHY ADDED	JLM
REVISED 12/22/2022	MODERNIZED LAND DESCRIPTION ADDED	JLM
REVISED 12/22/2022	OFFSITE TOPOGRAPHY ADDED	JLM

PREPARED FOR:

BENCHMARK CONSULTING, INC.
69 AUGUSTA DRIVE
BROWNSBURG, INDIANA 46112

PREPARED BY:

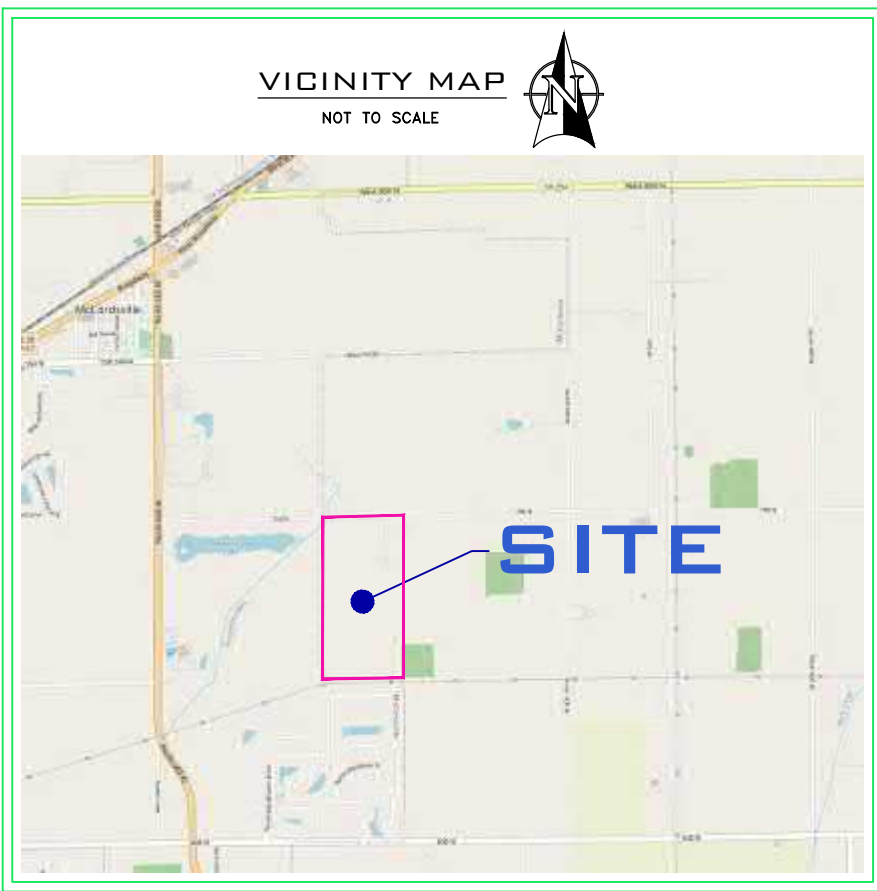
DONALD R. MOSSION
CENTRAL STATES CONSULTING, LLC
P.O. BOX 4
13 WEST PEARL STREET
NORTH SALEM, INDIANA 46165
PHONE: 317-858-8662 FAX: 317-342-2857



ALTA/NSPS/TOPOGRAPHIC
LAND TITLE SURVEY
5401 WEST COUNTY ROAD 700 NORTH
MCCORDSVILLE, INDIANA 46055

DATE: 07-08-2022
DWN. BY: JLM
CHKD. BY: DRM
SCALE: 1" = 60'

PROJECT NUMBER
22-039
SHEET **2** OF **3**

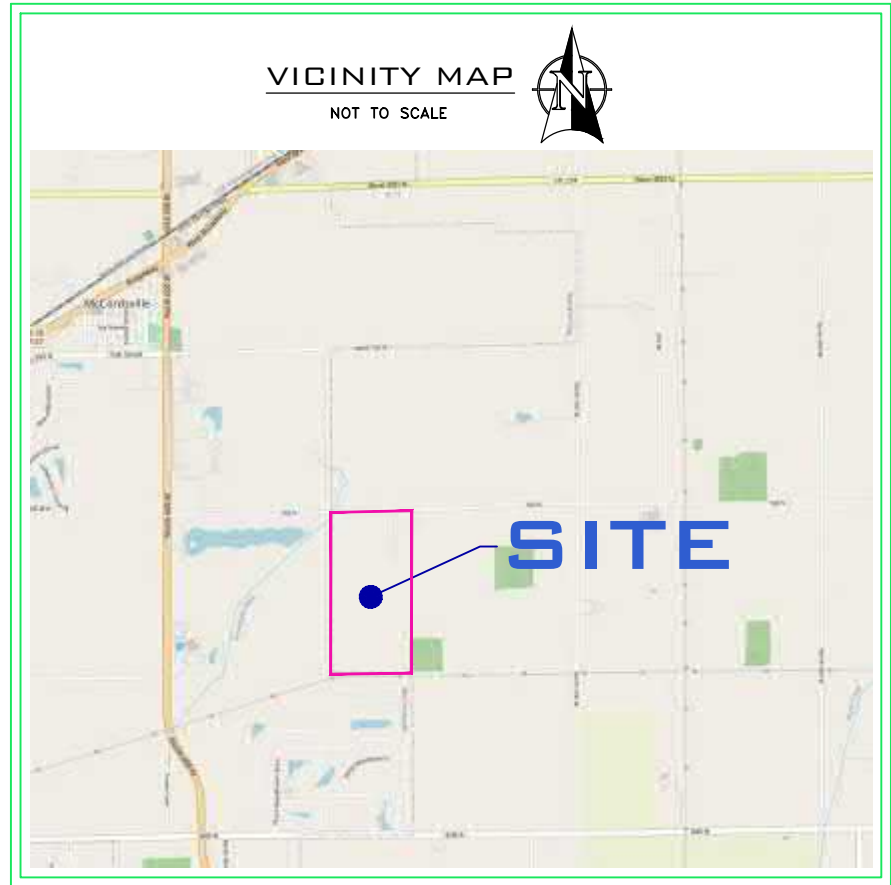
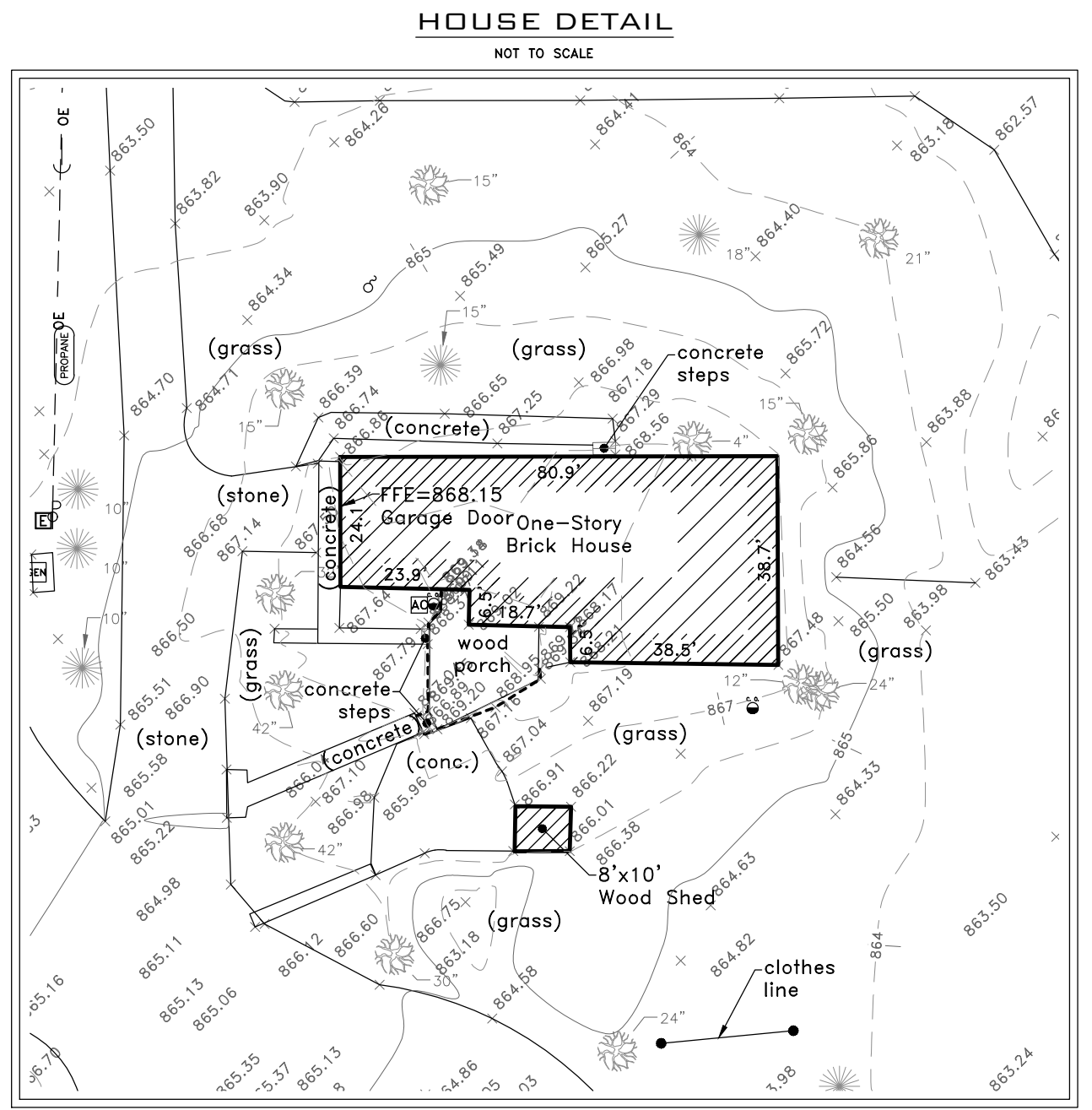
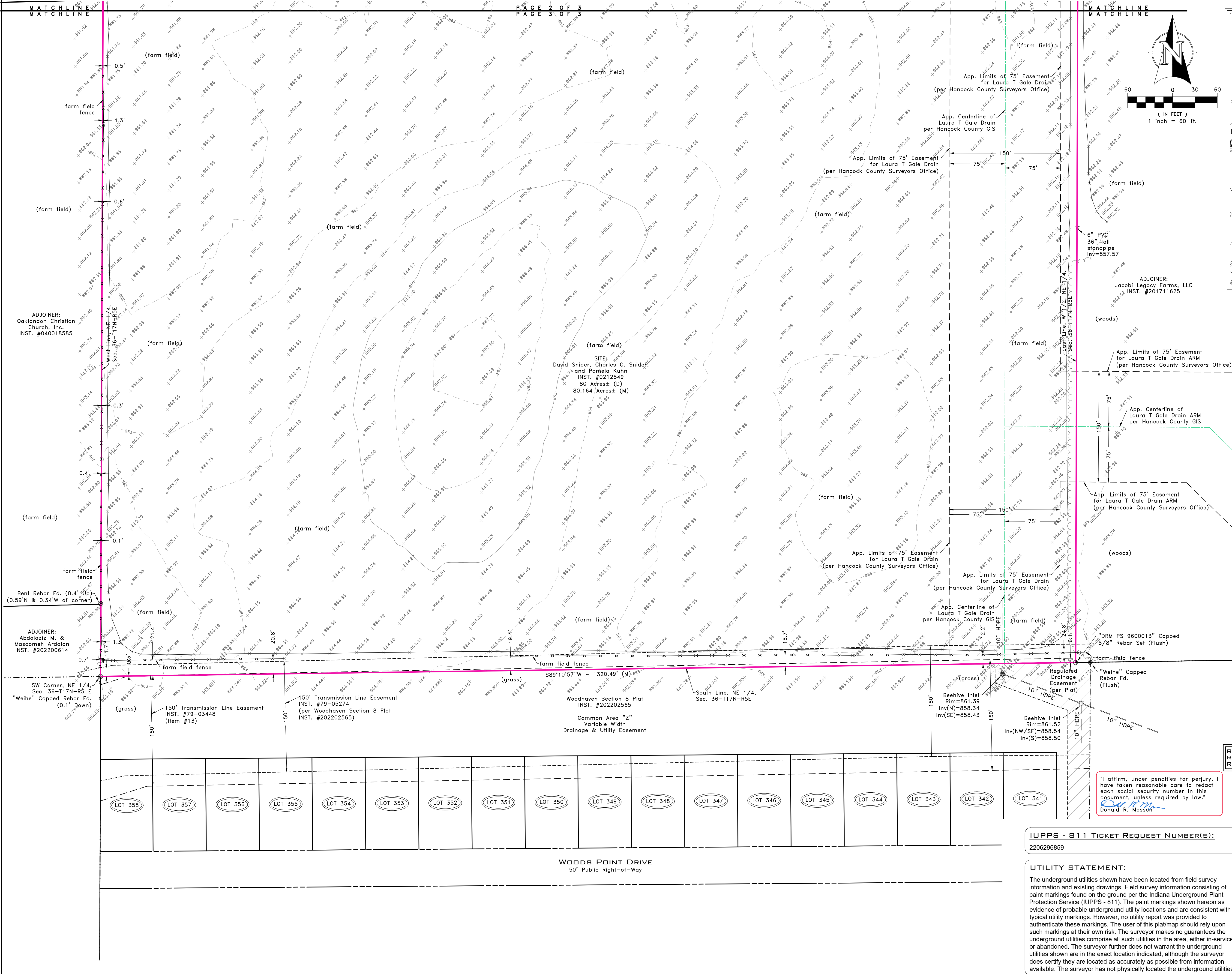


LEGEND:	
DESCRIPTION:	
SIGN / TWO POST SIGN	
WATER VALVE/FIRE HYD/METER	
TELE/FIBER OPTIC/GAS MARKER	
GAS METER / VALVE	
CLEAN-OUT	
ELEC. METER BOX/TRANSFORMER	
ELEC. / TELEPHONE PEDESTAL	
GUARD POST/POST WITH LIGHT	
AIR CONDITIONER / GENERATOR	
MAGNAIL SET/FOUND	
REBAR SET/FOUND	
SQUARE / ROUND / CURB INLET	
TRAFFIC/COMBO/ POWER POLE	
PVC	
HDPE	
LIGHT POLE - SQUARE / ROUND	

CONIFEROUS TREE & SIZE	DECIDUOUS TREE & SIZE
12"	36"
DRAINAGE / SANITARY MANHOLE	COMBINATION/MISC. LID MANHOLE
GUY WIRE / GROUND LIGHT	UNDG. WATER LINE
UNDG. GAS LINE	UNDG. TELEPHONE LINE
UNDG. ELECTRIC LINE	OVERHEAD ELE. & TEL
OVERHEAD ELE. TEL & CAB	OVERHEAD ELECTRIC
vinyl/clay pipe	reinforced concrete pipe
polyethylene coated pipe	high-density polyethylene pipe
ductile iron pipe	

ALTA/NSPS/TOPOGRAPHIC LAND TITLE SURVEY

PAGE 3 OF 3



LEGEND:	
SYMBOL	DESCRIPTION:
	SIGN / TWO POST SIGN
	WATER VALVE/FIRE HYD/METER
	TELE/FIBER OPTIC/GAS MARKER
	GAS METER / VALVE
	CLEAN-OUT
	ELEC. METER BOX/TRANSFORMER
	ELEC. / TELEPHONE PEDESTAL
	GUARD POST/POST WITH LIGHT
	AIR CONDITIONER / GENERATOR
	MAGNAIL SET/FOUND
	REBAR SET/FOUND
	SQUARE / ROUND / CURB INLET
	TRAFFIC/COMBO / POWER POLE
	LIGHT POLE - SQUARE / ROUND

SYMBOL	DESCRIPTION:
	CONIFEROUS TREE & SIZE
	DECIDUOUS TREE & SIZE
	DRAINAGE/SANITARY MANHOLE
	COMBINATION/MISC. LID MANHOLE
	BEEHIVE ROUND/SQUARE INLET
	GUY WIRE / GROUND LIGHT
	UNDG. WATER LINE
	UNDG. GAS LINE
	UNDG. TELEPHONE LINE
	UNDG. ELECTRIC LINE
	OVERHEAD ELE. & TEL
	OVERHEAD ELE TEL & CAB
	OVERHEAD ELECTRIC
	VCP vitrified clay pipe
	RCP reinforced concrete pipe
	PVC polyethylene coated pipe
	HDPE high-density polyethylene pipe
	DI ductile iron pipe

REVISED 12/03/2022	FIELD TOPOGRAPHY ADDED	JLM
REVISED 12/22/2022	MODERNIZED LAND DESCRIPTION ADDED	JLM
REVISED 12/22/2022	OFFSITE TOPOGRAPHY ADDED	JLM

PREPARED FOR:
BENCHMARK CONSULTING, INC.
69 AUGUSTA DRIVE
BROWNSBURG, INDIANA 46112

PREPARED BY: DONALD R. MOSSON
CENTRAL STATES CONSULTING, LLC
P.O. BOX 4
13 WEST PEARL STREET
NORTH SALEM, INDIANA 46165
PHONE: 317-858-8662 FAX: 317-342-2857



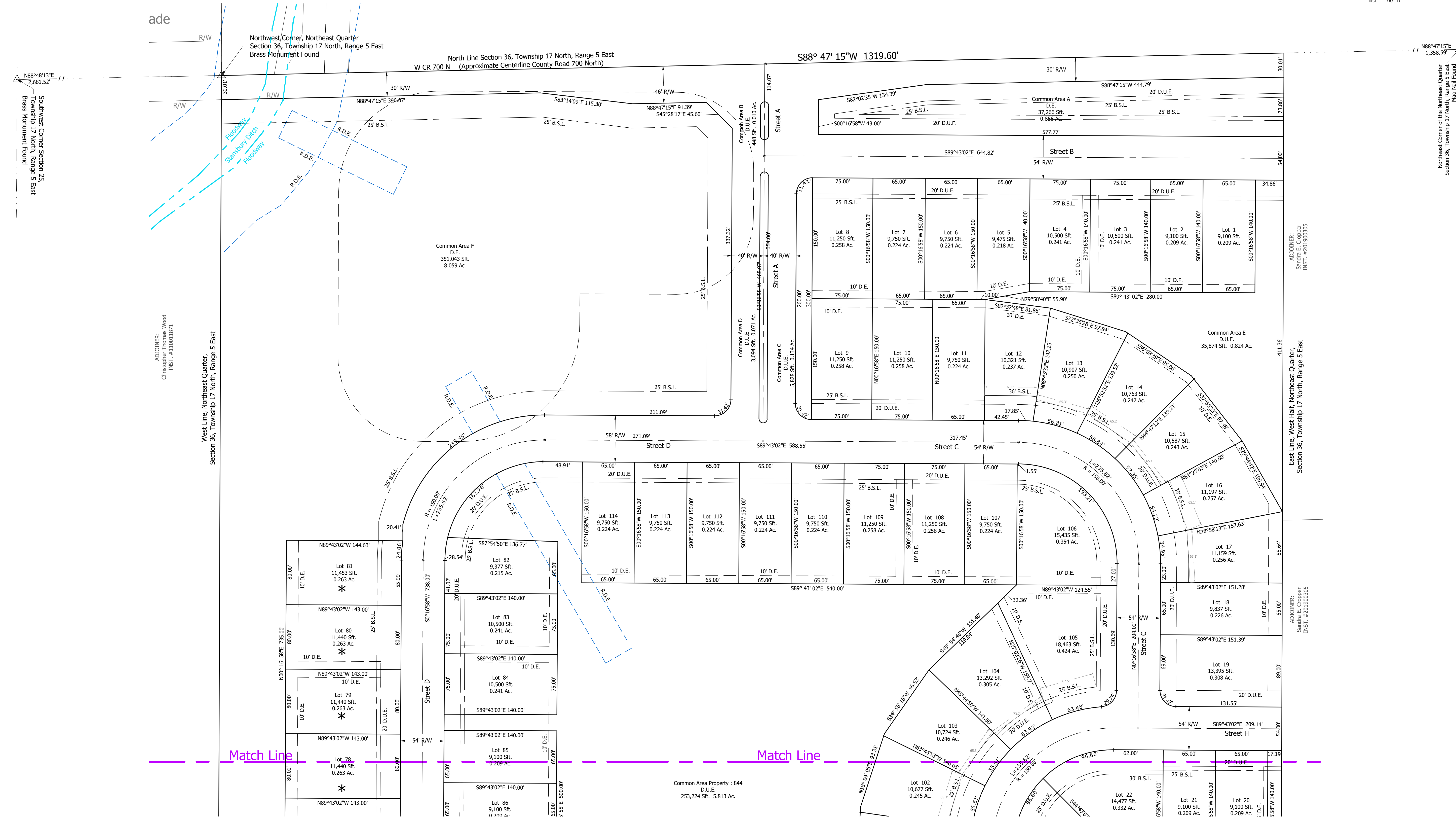
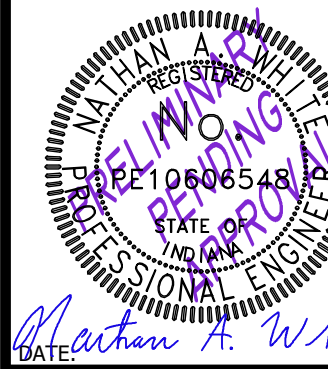
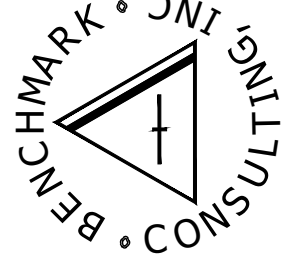
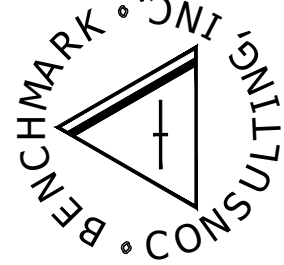
**ALTA/NSPS/TOPOGRPAHIC
LAND TITLE SURVEY**
5401 WEST COUNTY ROAD 700 NORTH
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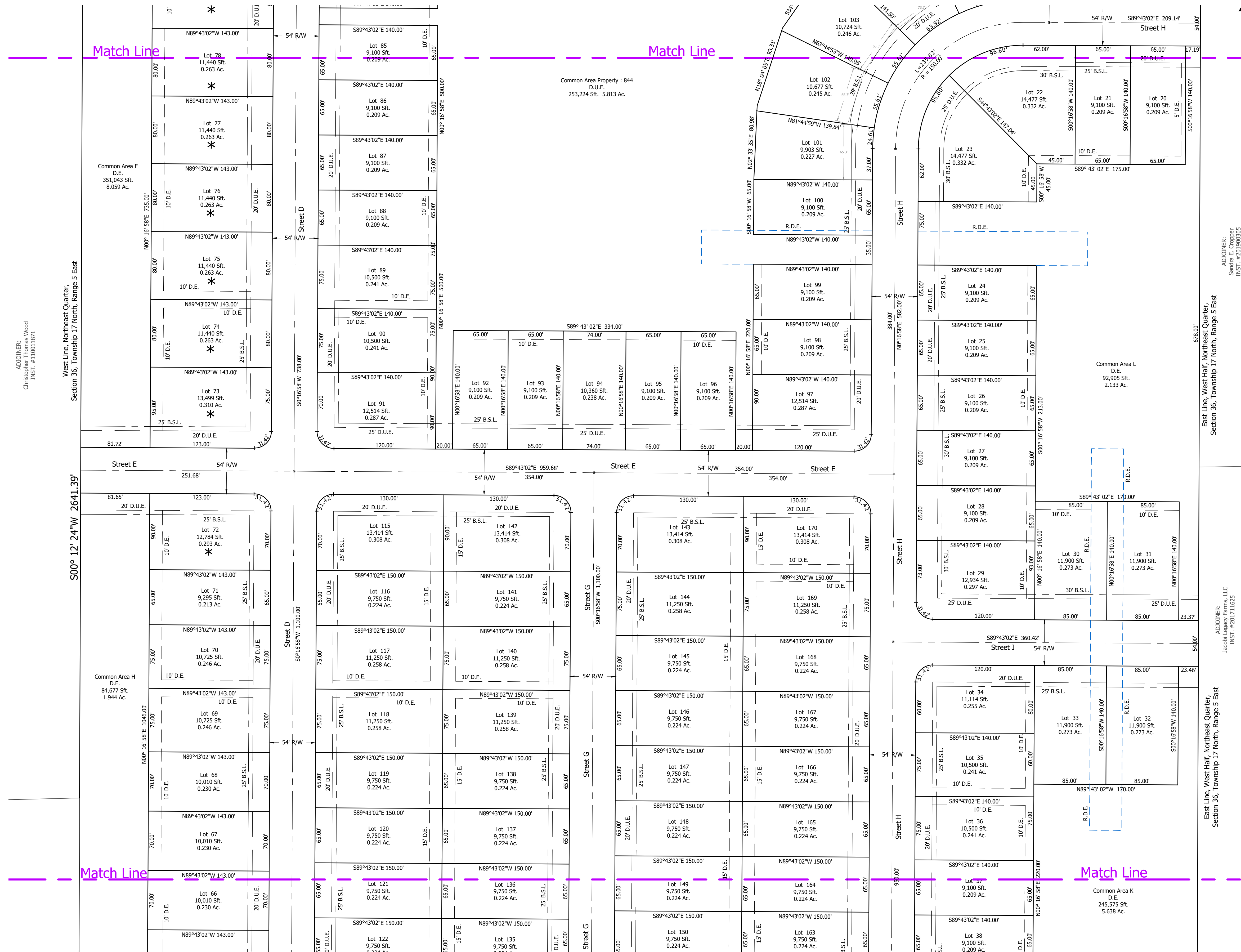
DATE: 07-08-2022	PROJECT NUMBER: 22-039
DWN. BY: JLM	
CHKD. BY: DRM	
SCALE: 1" = 60'	SHEET 3 OF 3

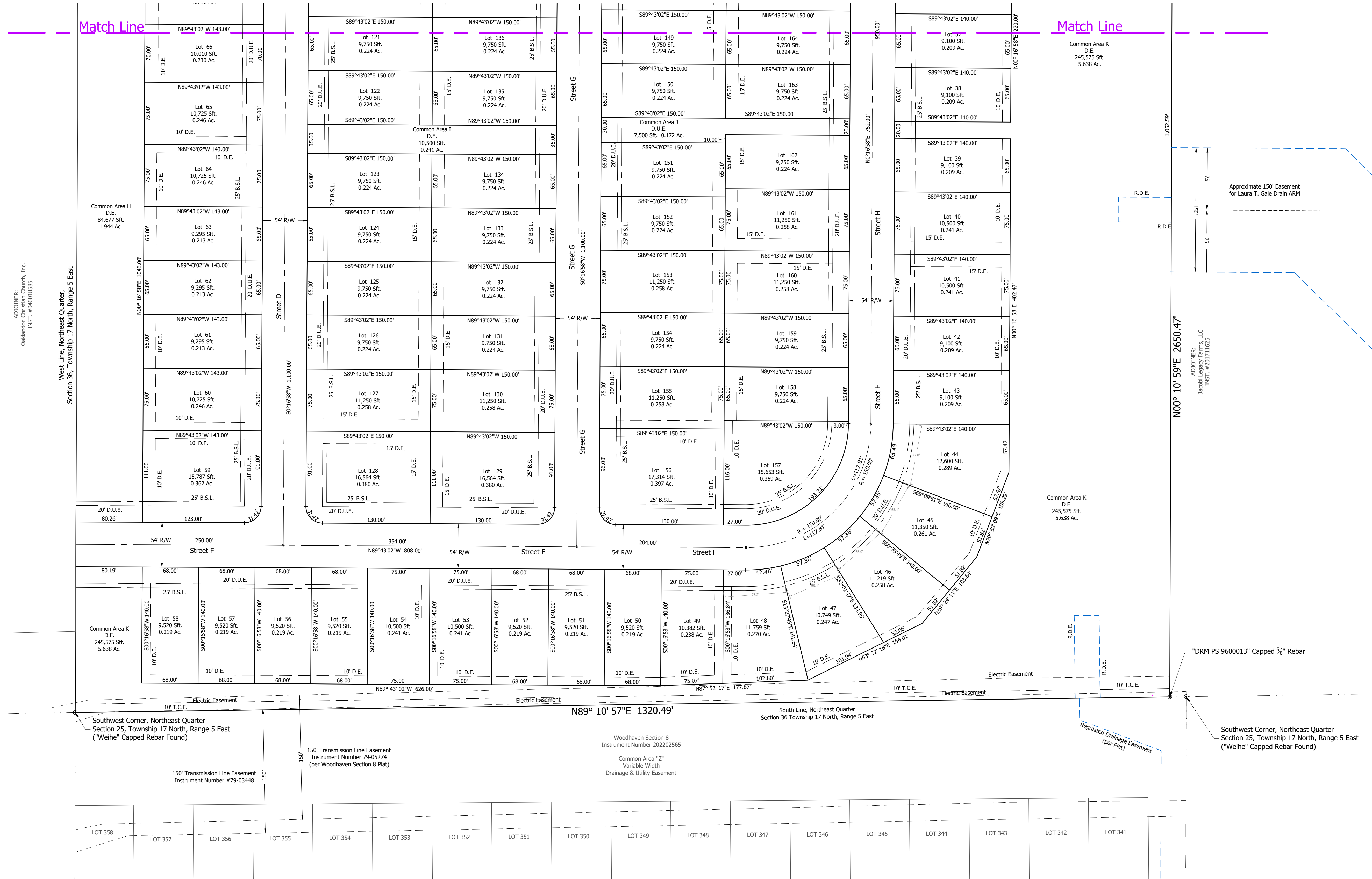
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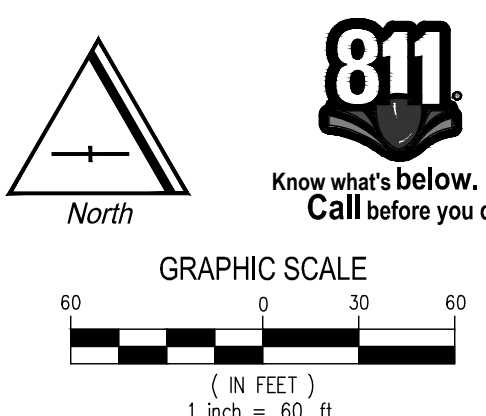
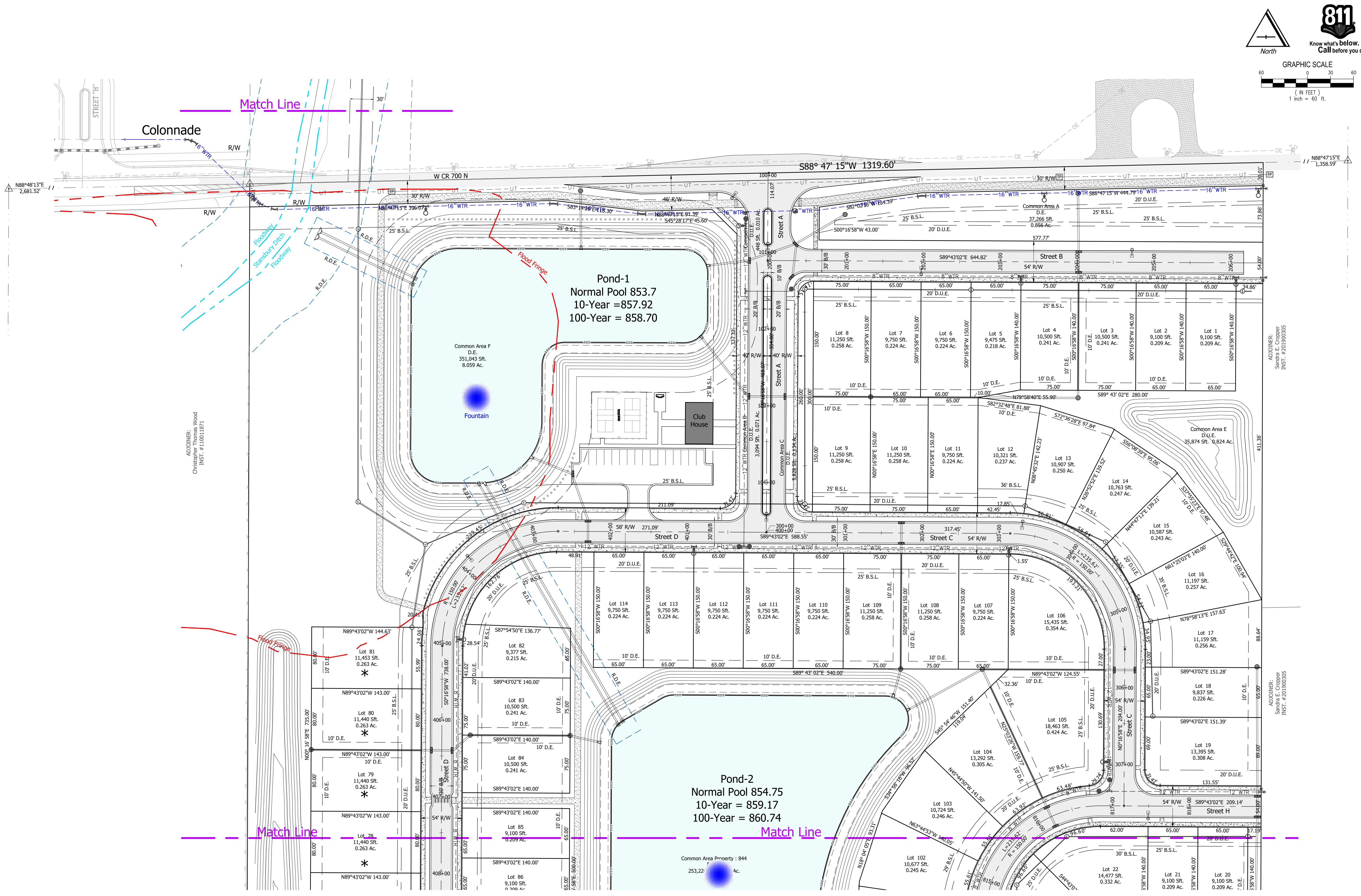
UTILITY STATEMENT:

The underground utilities shown have been located from field survey information and existing drawings. Field survey information consisting of paint markings found on the ground per the Indiana Underground Plant Protection Service (IUPPS - 811). The paint markings shown herein as evidence of probable underground utility locations and are consistent with typical utility markings. However, no utility report was provided to authenticate these markings. The user of this plat/map should rely upon such markings at their own risk. The surveyor makes no guarantees the underground utilities comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant the underground utilities shown are in the exact location indicated, although the surveyor does certify they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.









REVISIONS:

NO.	DATE	DESCRIPTION
1	02/07/2023	Revised per TAC review of 02/02/23.

Nathan White Engineering, L.L.C. d.b.a.

BENCHMARK CONSULTING, INC.
69 AUGUSTA DRIVE BROWNSBURG, IN 46112
(317) 852-5695
Project Manager: Nathan White
nwhite@benchmarkcon.com

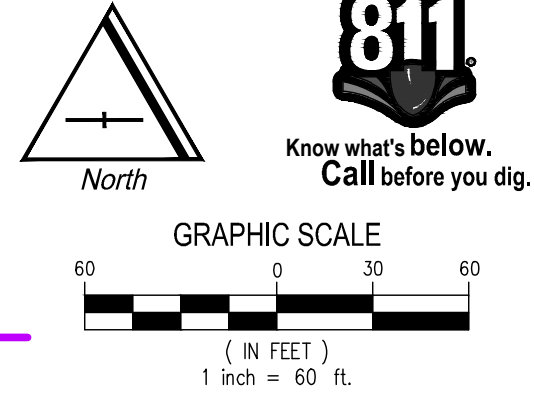
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Gatherings at Aurora
Planned Unit Development
McCordsville, Indiana
Conceptual Development Plan

DATE: 01/19/23
CHECKED BY: N.A.W.
PROJECT NUMBER: 22007
SHEET # C104

File Path: Name: D:\Benchmark\01 Benchmark\22 Gatherings at Aurora\22007-Sunder Property\Kings Primary Plan\22007-Sunder-PP Beazer-PP Beazer.dwg - Date: Feb 07 2023 - 3:59pm

Gatherings at Aurora Primary Plat Revision #1 - 02/02/2023



ADJOINER:
Sandra E. Cropper
INST. #201900305

Beazer Homes
9465 Counselors Row, Suite 125
Indianapolis, IN 46240
317-714-4118
Sean Sullivan
sean.sullivan@beazer.com

A circular professional engineer seal for Nathan A. White, No. 10606548, State of Indiana. The seal is stamped in blue ink. The outer ring contains the text "NATHAN A. WHITE" at the top and "PROFESSIONAL ENGINEER" at the bottom. The inner circle contains "REGISTERED" at the top, "NO." in the center, "10606548" below it, and "STATE OF INDIANA" at the bottom. A blue ink signature "Nathan A. White" is written across the bottom of the seal, with the word "DATE:" written below it.

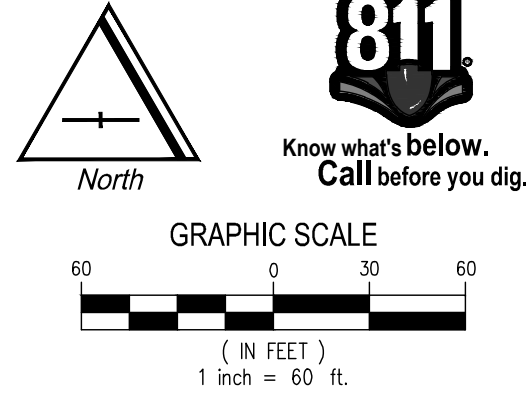
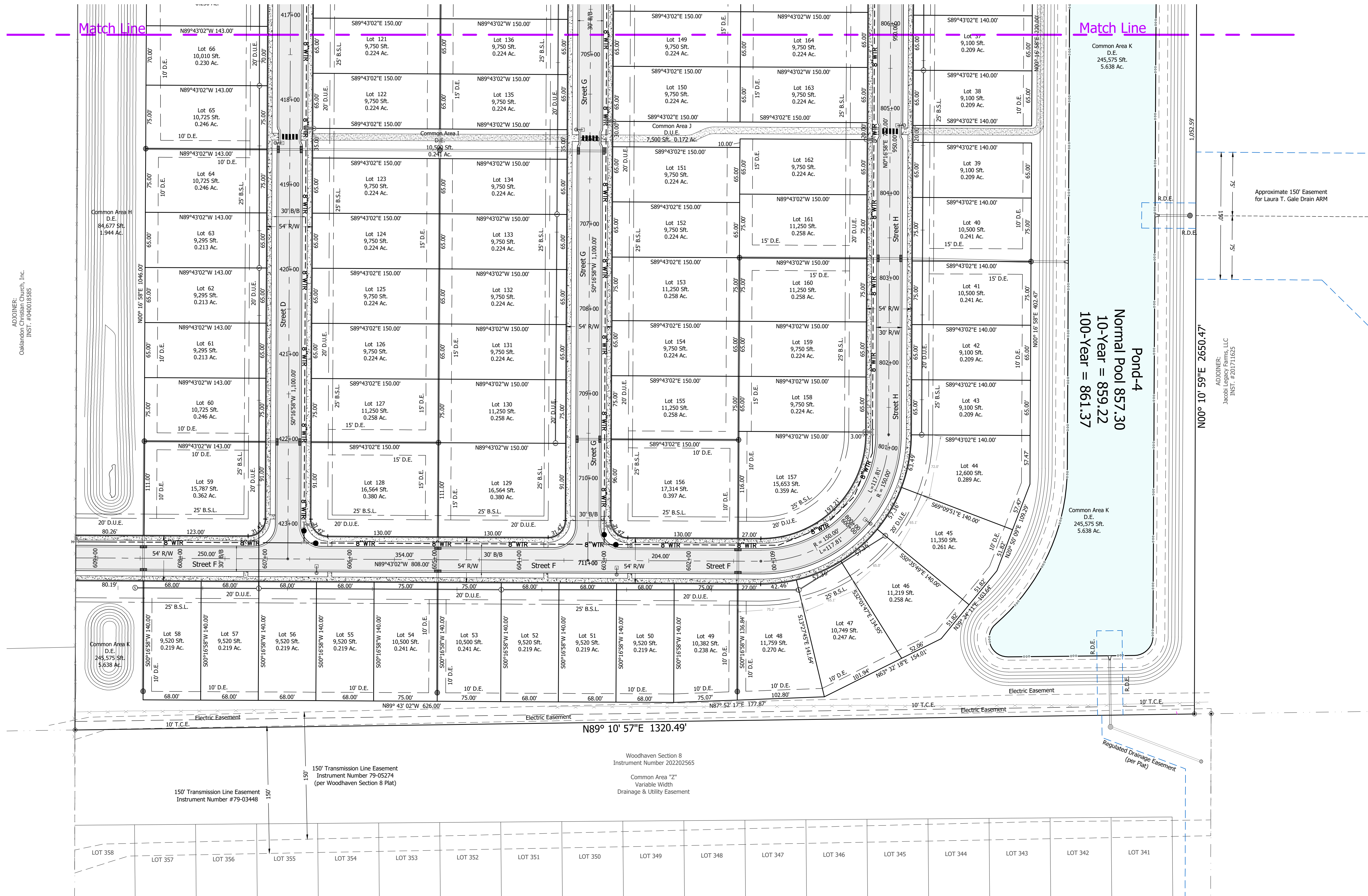
Nathan White Engineering, L.L.C. d.b.a.
BENCHMARK CONSULTING, INC.
39 AUGUSTA DRIVE BROWNSBURG, IN 46111
(317) 852-5695
Project Manager: Nathan White
nwhite@benchmarkcon.com

REVISIONS:

REVISIONS:	
1.	02/07/2023 Revised per TAC review of 02/01/23.

DATE: 01/19/23	CHECKED BY: N.A.W.
PROJECT NUMBER: 22007	
SHEET #	

C105



DATE: 01/19/23	CHECKED BY: N.A.W.
PROJECT NUMBER: 22007	
SHEET #	

Gatherings at Aurora Planned Unit Development

McCordsville, Indiana

Conceptual Development Plan

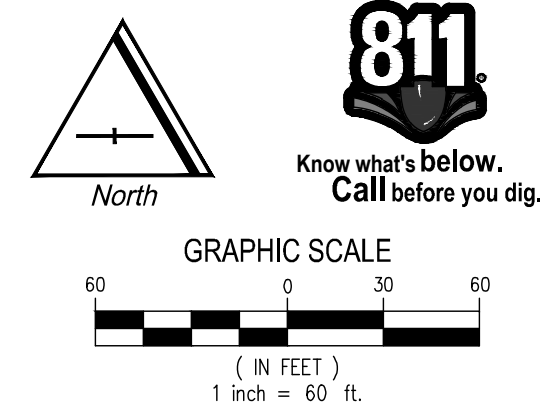
Beazer Homes
9465 Counselors Row, Suite 125
Indianapolis, IN 46240
317-714-4118
Sean Sullivan
sean.sulliva@beazer.com

Nathan White Engineering, L.L.C. d.b.a.
BENCHMARK CONSULTING, INC.
69 AUGUSTA DRIVE BROWNSBURG, IN 46112
(317) 852-5695
Project Manager: Nathan White
nwhite@benchmarkcon.com

REVISIONS:

File Path Name: D:\Benchmark01\Benchmark\22 Jobs\22007-Snyder Property.dwg - Date: Feb 07 2023 - 3:56pm
 Conceptual Development Team
 scallan@bentley.com

1. 02/07/20203 Revised per TAC review of 02/02/23.



Gatherings at Aurora Planned Unit Development

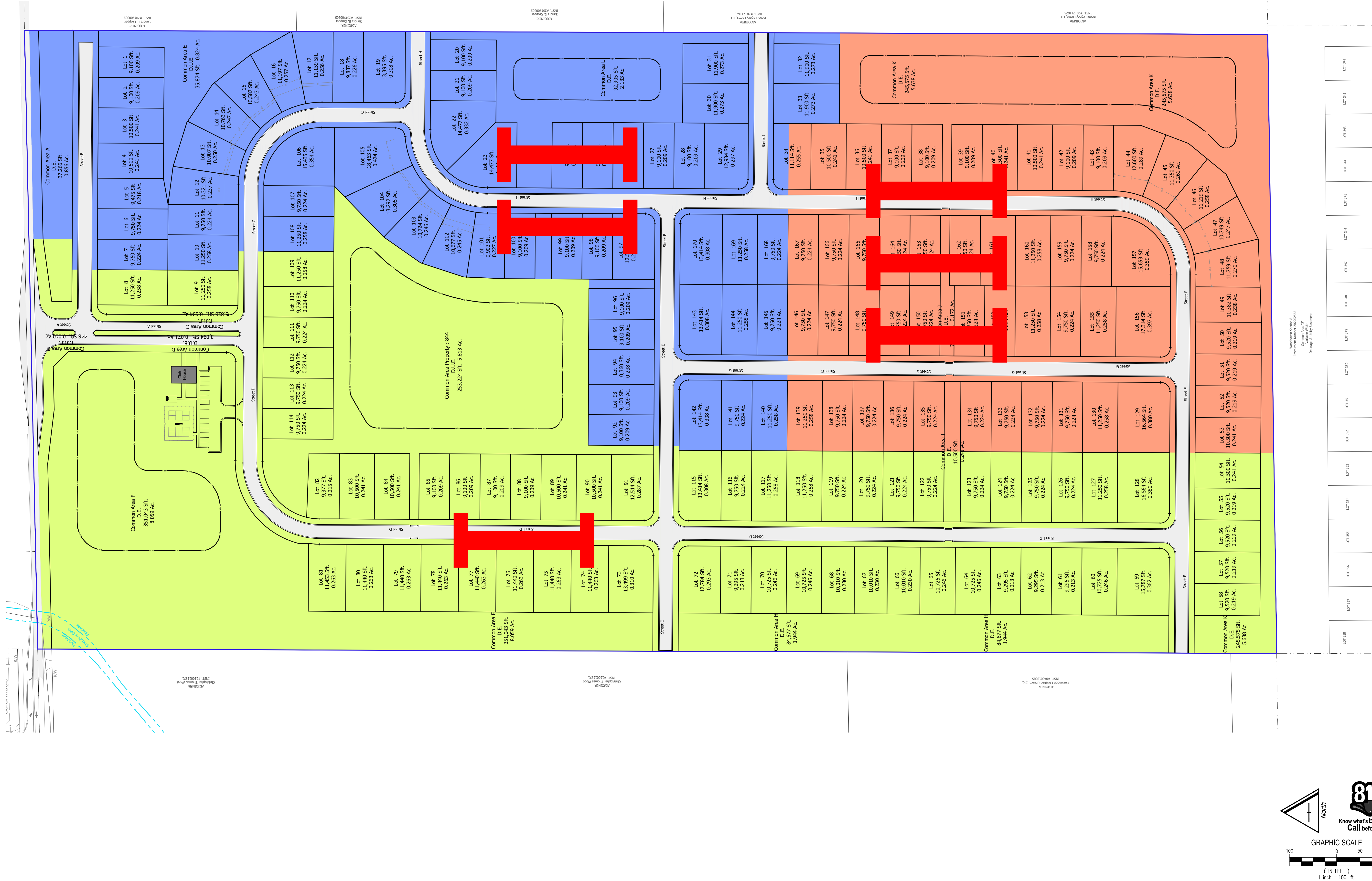


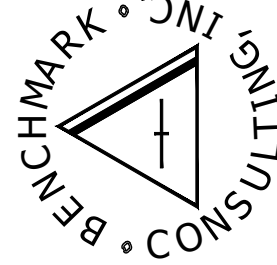
 DATE: Nathan A. Williams

Nathan White Engineering, L.L.C. d.b.a.

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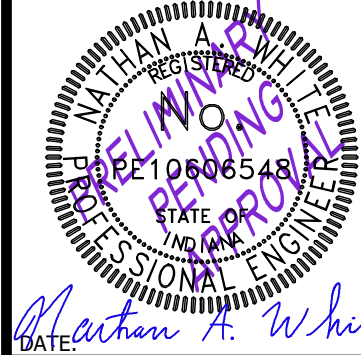


DATE: 01/19/23
PROJECT NUMBER: 22007
SHEET # C109

Gatherings at Aurora
Planned Unit Development
McCordsville, Indiana
Conceptual Street Lighting Plan

PREPARED FOR:

Beazer Homes
9465 Counselors Row, Suite 125
Indianapolis, IN 46240
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BENCHMARK CONSULTING, INC.
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(317) 852-5695
Project Manager: Nathan White
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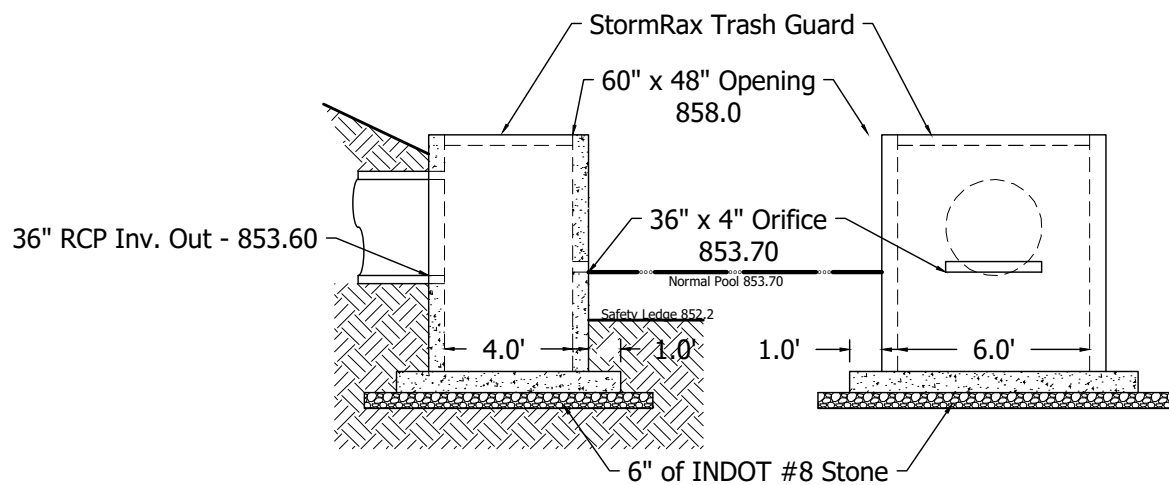
REVISIONS:

Lot Area		
Lot #	Area Ac.	Area Sft.
1	0.209	9,100
2	0.209	9,100
3	0.241	10,500
4	0.241	10,500
5	0.218	9,475
6	0.224	9,750
7	0.224	9,750
8	0.258	11,250
9	0.258	11,250
10	0.258	11,250
11	0.224	9,750
12	0.237	10,321
13	0.250	10,907
14	0.247	10,763
15	0.243	10,587
16	0.257	11,197
19	0.308	13,395
20	0.209	9,100
21	0.209	9,100
22	0.332	14,477
23	0.332	14,477
24	0.209	9,100
25	0.209	9,100
26	0.209	9,100
27	0.209	9,100
28	0.209	9,100
29	0.297	12,934
30	0.273	11,900
31	0.273	11,900
32	0.273	11,900
33	0.273	11,900
34	0.255	11,114
35	0.241	10,500
36	0.241	10,500
37	0.209	9,100
38	0.209	9,100
39	0.209	9,100
40	0.241	10,500
41	0.241	10,500
42	0.209	9,100
43	0.209	9,100
44	0.289	12,600
45	0.261	11,350
46	0.258	11,219
47	0.247	10,749
48	0.270	11,759
49	0.238	10,382
50	0.219	9,520
51	0.219	9,520
52	0.219	9,520
53	0.241	10,500
54	0.241	10,500
55	0.219	9,520
56	0.219	9,520
57	0.219	9,520
58	0.219	9,520
59	0.362	15,787
60	0.246	10,725
61	0.213	9,295
62	0.213	9,295

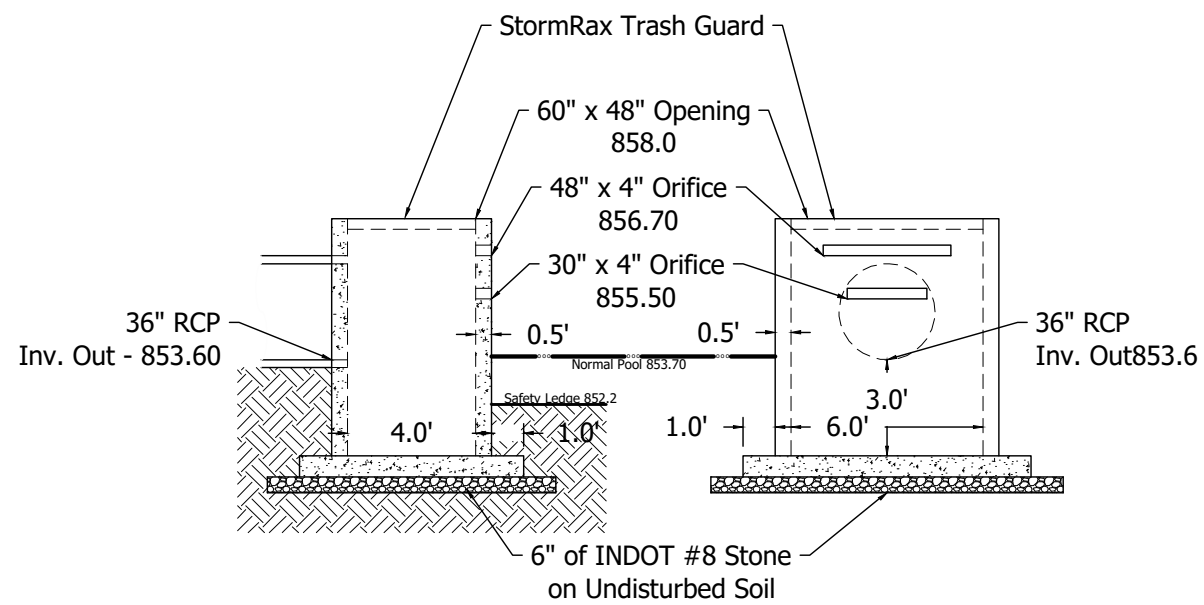
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Lot #	Area Ac.	Area Sft.
63	0.213	9,295
64	0.246	10,725
65	0.246	10,725
66	0.230	10,010
67	0.230	10,010
68	0.230	10,010
69	0.246	10,725
70	0.246	10,725
71	0.213	9,295
72	0.293	12,784
73	0.310	13,499
74	0.263	11,440
75	0.263	11,440
76	0.263	11,440
77	0.263	11,440
78	0.263	11,440
79	0.263	11,440
80	0.263	11,440
81	0.263	11,453
83	0.241	10,500
85	0.209	9,100
86	0.209	9,100
87	0.209	9,100
88	0.209	9,100
89	0.241	10,500
90	0.241	10,500
91	0.287	12,514
92	0.209	9,100
93	0.209	9,100
94	0.238	10,360
95	0.209	9,100
96	0.209	9,100
97	0.287	12,514
98	0.209	9,100
99	0.209	9,100
100	0.209	9,100
101	0.227	9,903
102	0.245	10,677
103	0.246	10,724
104	0.305	13,292
105	0.424	18,463
106	0.354	15,435
107	0.224	9,750
108	0.258	11,250
109	0.258	11,250
110	0.224	9,750
111	0.224	9,750
112	0.224	9,750
113	0.224	9,750
114	0.224	9,750
115	0.308	13,414
116	0.224	9,750
117	0.258	11,250
118	0.258	11,250
119	0.224	9,750
120	0.224	9,750
121	0.224	9,750
122	0.224	9,750
123	0.224	9,750
124	0.224	9,750

Lot Area		
Lot #	Area Ac.	Area Sft.
125	0.224	9,750
126	0.224	9,750
127	0.258	11,250
128	0.380	16,564
129	0.380	16,564
130	0.258	11,250
131	0.224	9,750
132	0.224	9,750
133	0.224	9,750
134	0.224	9,750
135	0.224	9,750
136	0.224	9,750
137	0.224	9,750
138	0.224	9,750
139	0.258	11,250
140	0.258	11,250
141	0.224	9,750
142	0.308	13,414
143	0.308	13,414
144	0.258	11,250
145	0.224	9,750
146	0.224	9,750
147	0.224	9,750
148	0.224	9,750
149	0.224	9,750
150	0.224	9,750
151	0.224	9,750
152	0.224	9,750
153	0.258	11,250
154	0.224	9,750
155	0.258	11,250
156	0.397	17,314
157	0.359	15,653
158	0.224	9,750
159	0.224	9,750
160	0.258	11,250
161	0.258	11,250
162	0.224	9,750
163	0.224	9,750
164	0.224	9,750
165	0.224	9,750
166	0.224	9,750
167	0.224	9,750
168	0.224	9,750
169	0.258	11,250
170	0.308	13,414
844	5.813	253,224

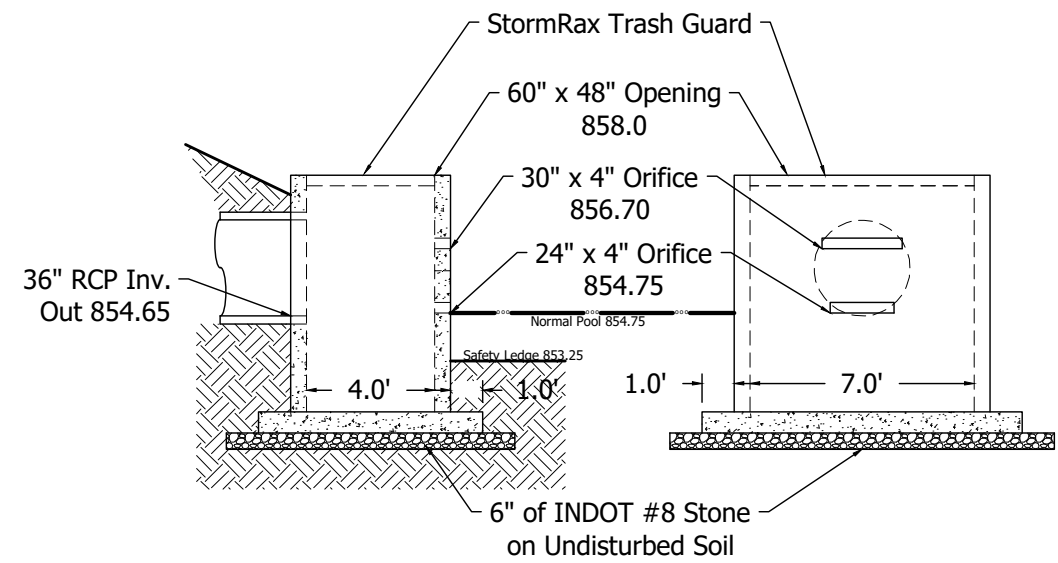
Common Area		
Designation	Area Ac.	Area Sft.
A	0.856	37,266
B	0.010	448
C	0.134	5,828
D	0.071	3,094
E	0.824	35,874
F	8.059	351,043
H	1.944	84,677
I	0.241	10,500
J	0.172	7,500
K	5.638	245,575
L	2.133	92,905
Pond1	11.746	511,647



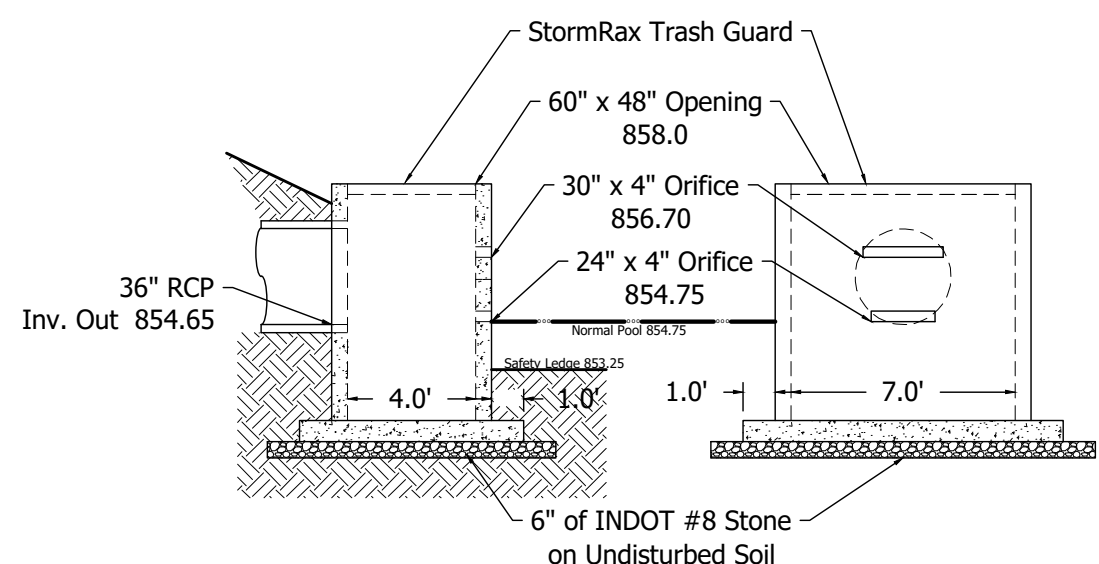
Pond Outlet Structure #2
NTS



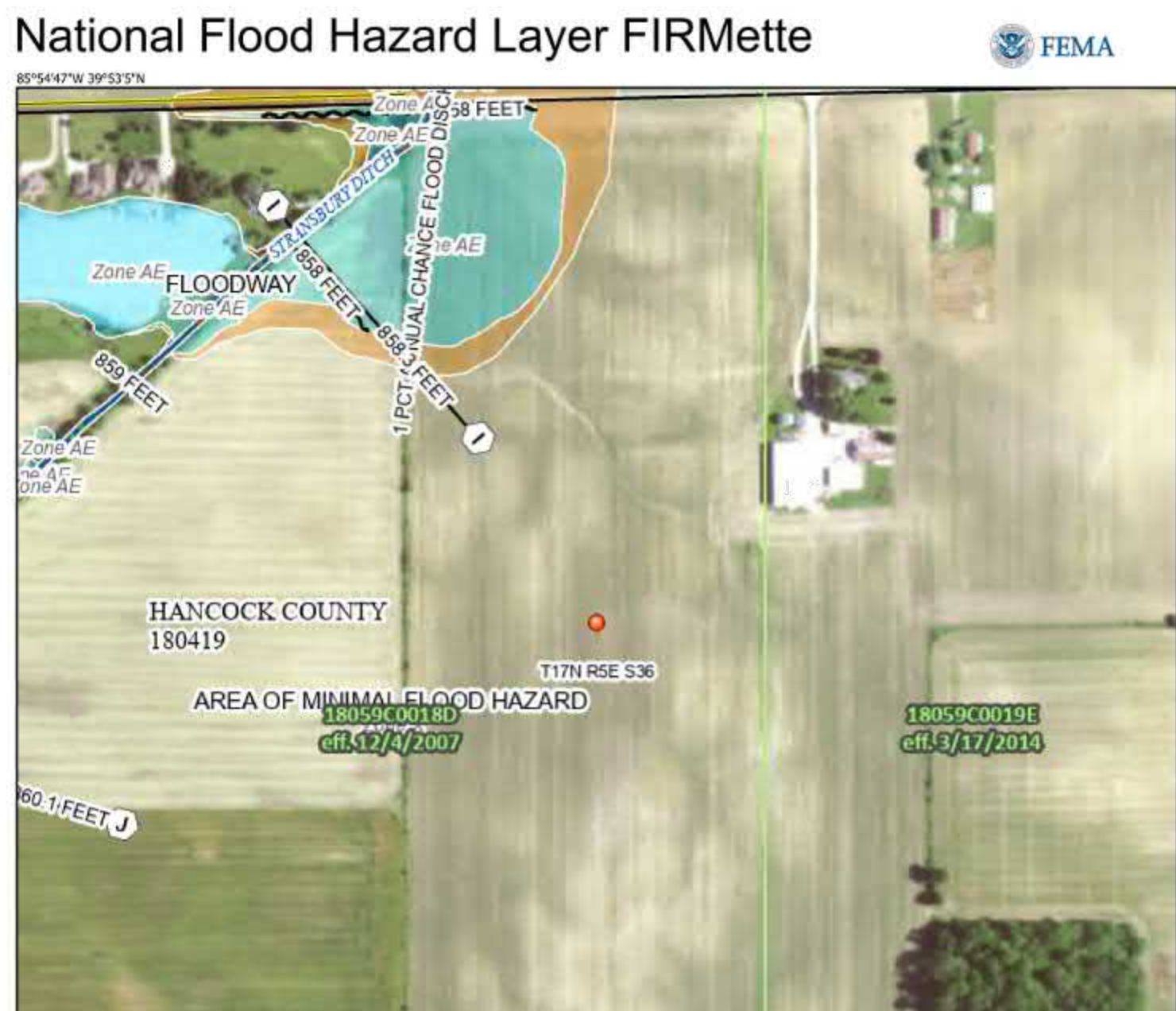
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NTS



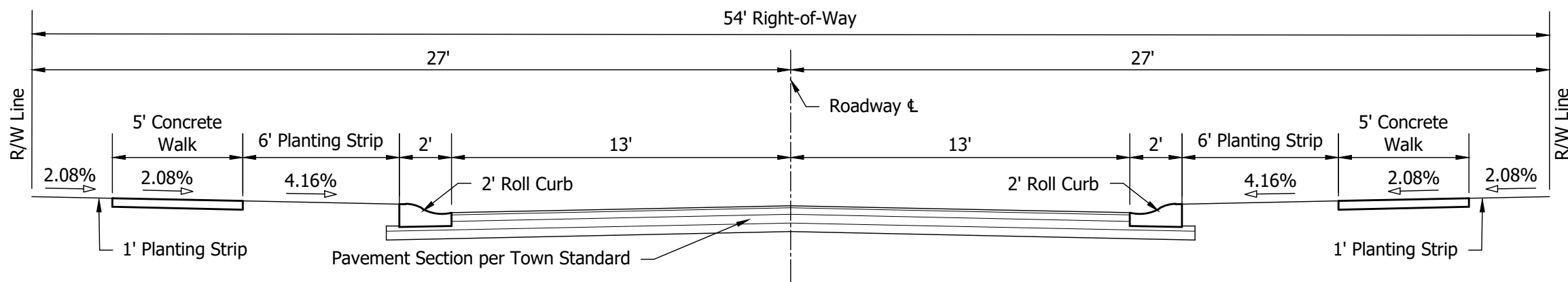
Pond Outlet Structure #6
NTS



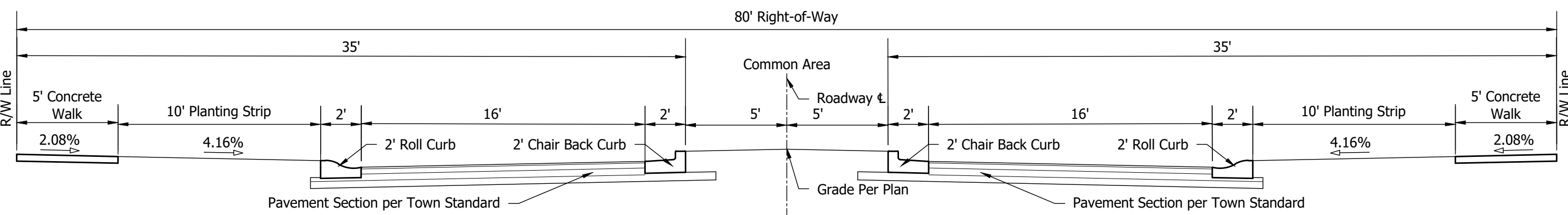
Pond Outlet Structure #8
NTS



Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Br	Brookston silty clay loam, 0 to 2 percent slopes	33.5	42.8%
CrA	Crosby silt loam, New Castle Till Plain, 0 to 2 percent slopes	42.0	53.6%
Ko	Kokomo silty clay loam, 0 to 2 percent slopes	2.8	3.6%
Totals for Area of Interest		78.3	100.0%



Typical Roadway Section
Not to Scale



Typical Boulevard Roadway Section
Not to Scale

REVISIONS:

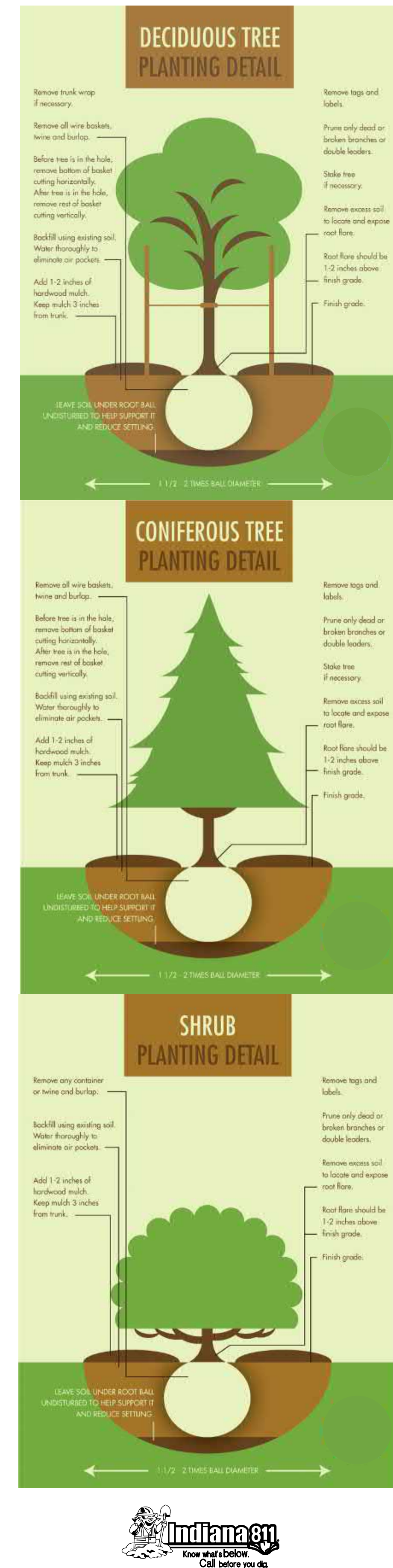
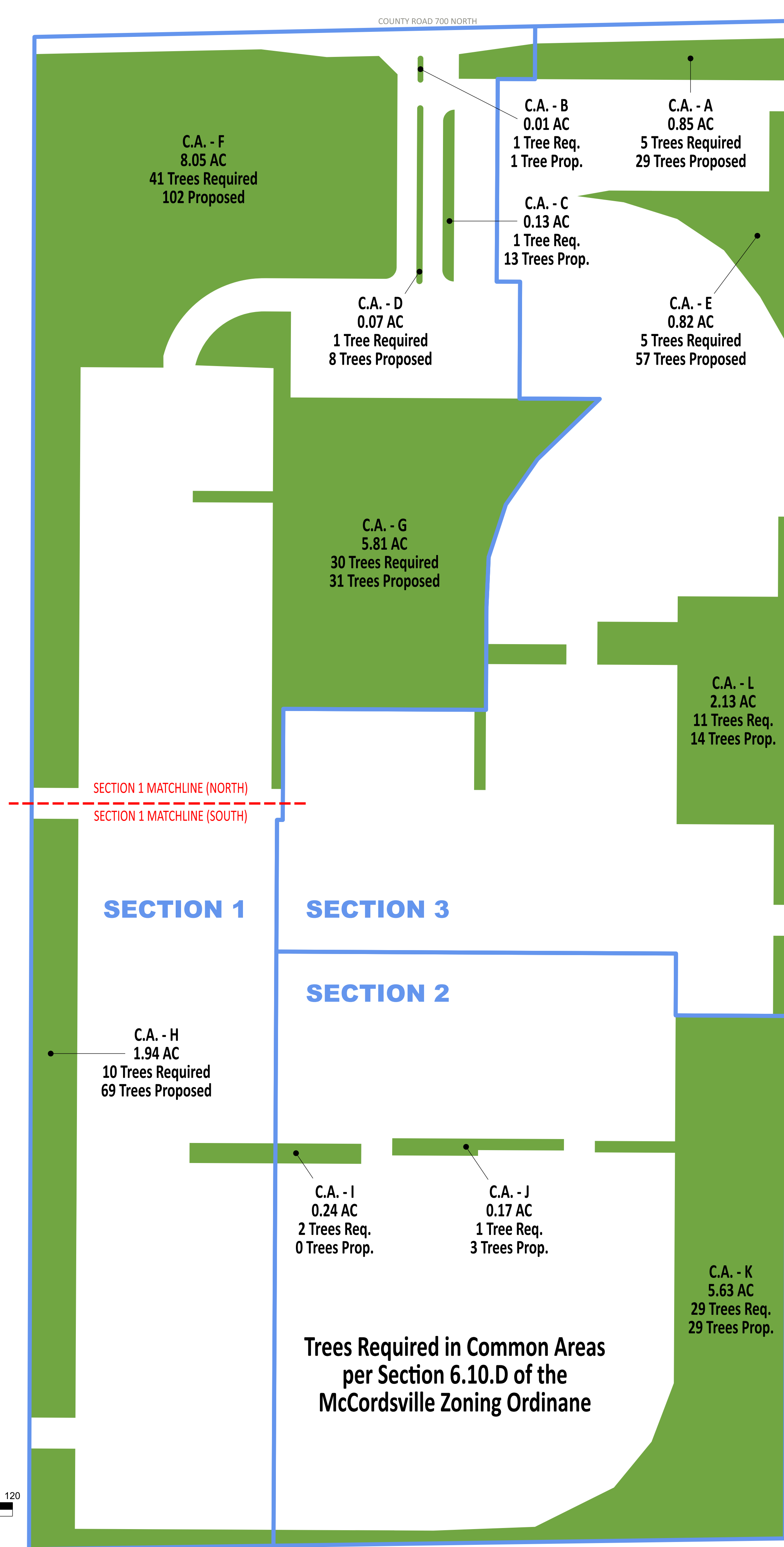
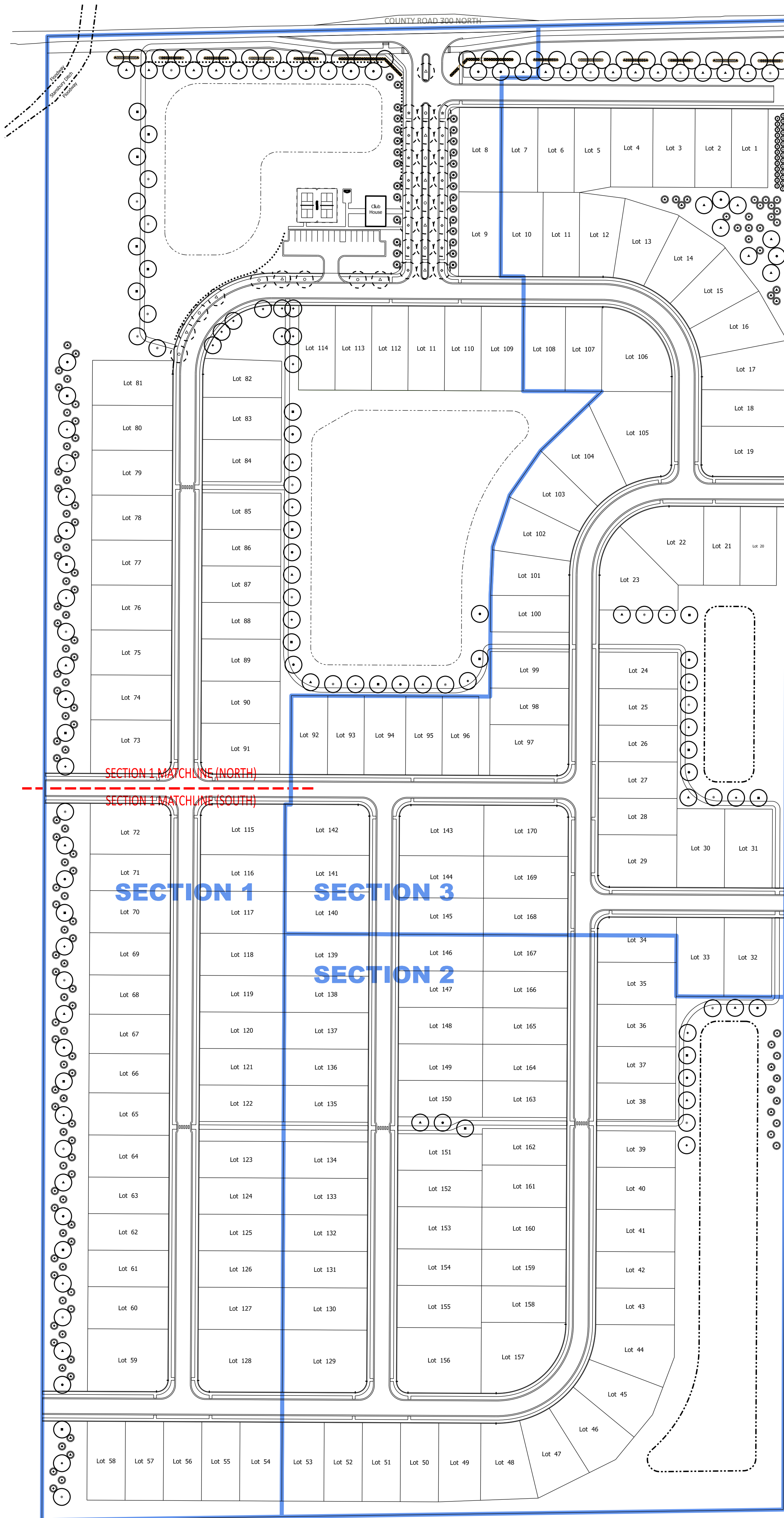
Nathan White Engineering, L.L.C. d.b.a.

BENCHMARK CONSULTING, INC.
69 AUGUSTA DRIVE BROWNSBURG, IN 46112
(317) 852-5695
Project Manager: Nathan White
nwhite@benchmarkcon.com

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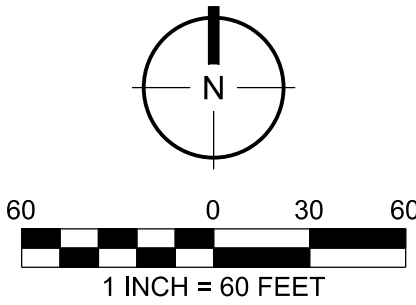
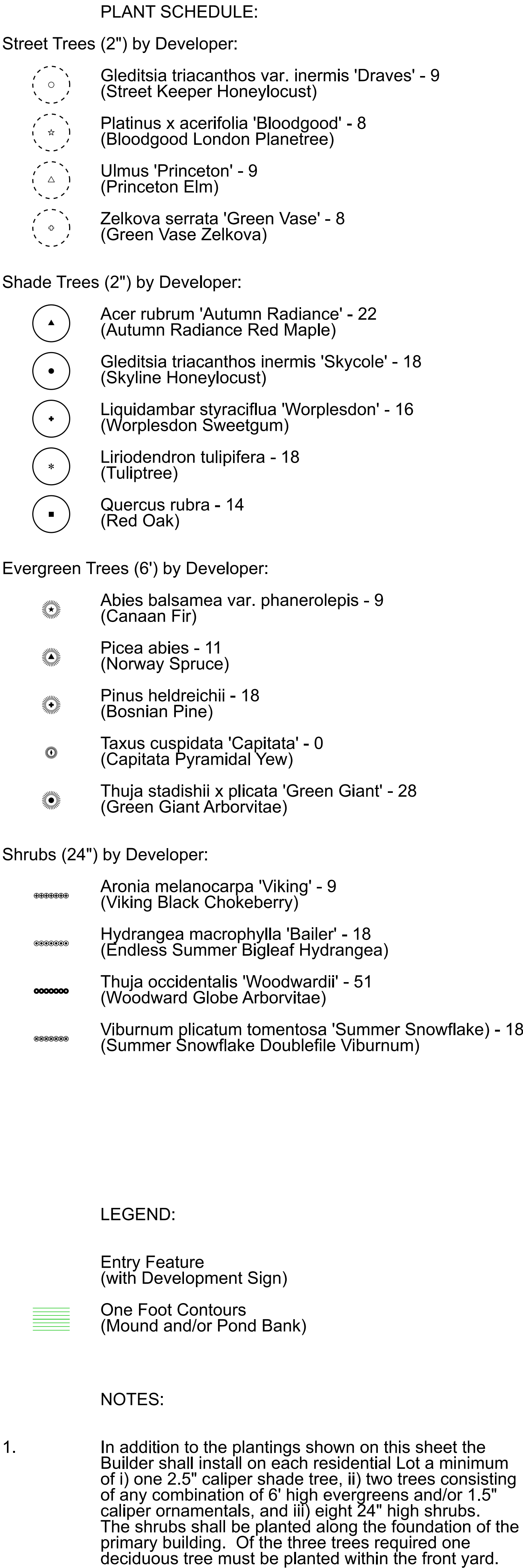
Gatherings at Aurora
Planned Unit Development
McCordsville, Indiana
Roadway Sections, Lot Summary & Miscellaneous Mappings
DATE: 01/19/23
CHECKED BY: N.A.W.
PROJECT NUMBER: 22007
SHEET # C110

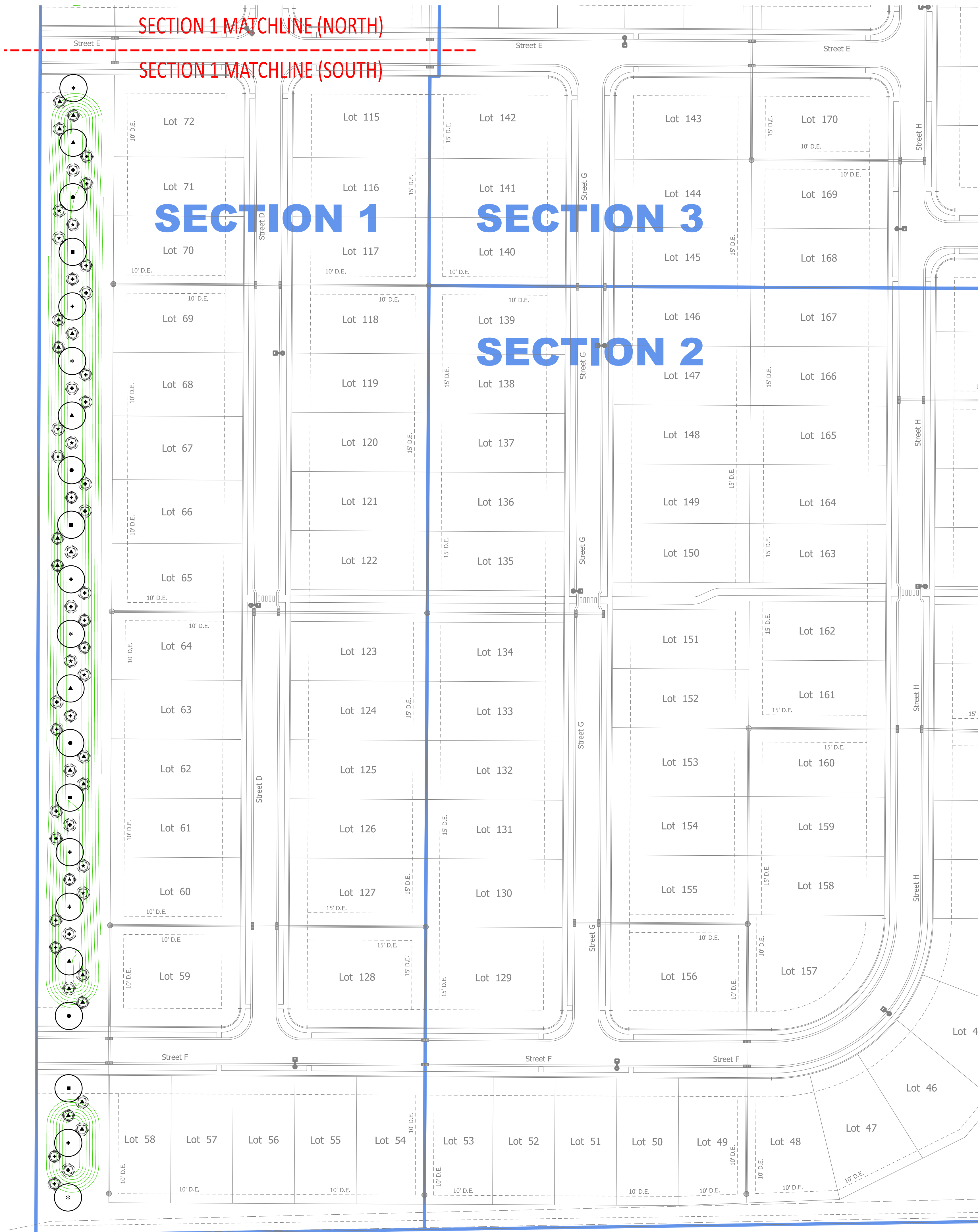


SHEET SCHEDULE:

L101	SECTION 1 PLANTING PLAN (NORTH)
L102	SECTION 1 PLANTING PLAN (SOUTH)
L103	SECTION 1 PLANTING PLAN (ENTRANCE)
L104	SECTION 1 PLANTING PLAN (AMENITY)
L201	SECTION 2 PLANTING PLAN
L301	SECTION 3 PLANTING PLAN

REVISIONS:	
02/07/2023 MODIFIED PLANT LOCATIONS TO ACCOMMODATE REVISED SITE PLAN.	
BENCHMARK CONSULTING, INC. 69 AUGUSTA DRIVE BROWNSBURG, IN 46112 (317) 852-5695	
BENCHMARK CONSULTING, INC.	
Preliminary Pending Approval	
DATE:	
PREPARED FOR:	
Beazer Homes 9465 Counselors Row, Suite 125 Indianapolis, IN 46240 317-714-4118 Sean Sullivan sean.sullivan@beazer.com	
Gatherings at Aurora	
McCordsville, Indiana	
Landscaping Plan - Cover Sheet	
DATE:	DRAWN BY:
01/20/2023	EWS
PROJECT NUMBER:	
22007	
SHEET #	
L000	





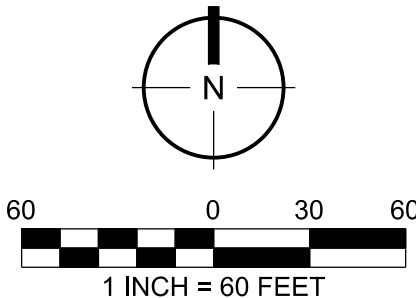
- PLANT SCHEDULE:
- Street Trees (2") by Developer:
- Gleditsia triacanthos var. inermis 'Draves' - 0
(Street Keeper Honeylocust)
- Platinus x acerifolia 'Bloodgood' - 0
(Bloodgood London Planetree)
- Ulmus 'Princeton' - 0
(Princeton Elm)
- Zelkova serrata 'Green Vase' - 0
(Green Vase Zelkova)
- Shade Trees (2") by Developer:
- Acer rubrum 'Autumn Radiance' - 4
(Autumn Radiance Red Maple)
- Gleditsia triacanthos inermis 'Skycole' - 4
(Skyline Honeylocust)
- Liquidambar styraciflua 'Worplesdon' - 4
(Worplesdon Sweetgum)
- Liriodendron tulipifera - 5
(Tuliptree)
- Quercus rubra - 4
(Red Oak)
- Evergreen Trees (6") by Developer:
- Abies balsamea var. phanerolepis - 12
(Canaan Fir)
- Picea abies - 18
(Norway Spruce)
- Pinus heldreichii - 27
(Bosnian Pine)
- Taxus cuspidata 'Capitata' - 0
(Capitata Pyramidal Yew)
- Thuja stadishii x plicata 'Green Giant' - 0
(Green Giant Arborvitae)
- Shrubs (24") by Developer:
- Aronia melanocarpa 'Viking' - 0
(Viking Black Chokeberry)
- Hydrangea macrophylla 'Bailer' - 0
(Endless Summer Bigleaf Hydrangea)
- Thuja occidentalis 'Woodwardii' - 0
(Woodward Globe Arborvitae)
- Viburnum plicatum tomentosa 'Summer Snowflake' - 0
(Summer Snowflake Doublefile Viburnum)

LEGEND:

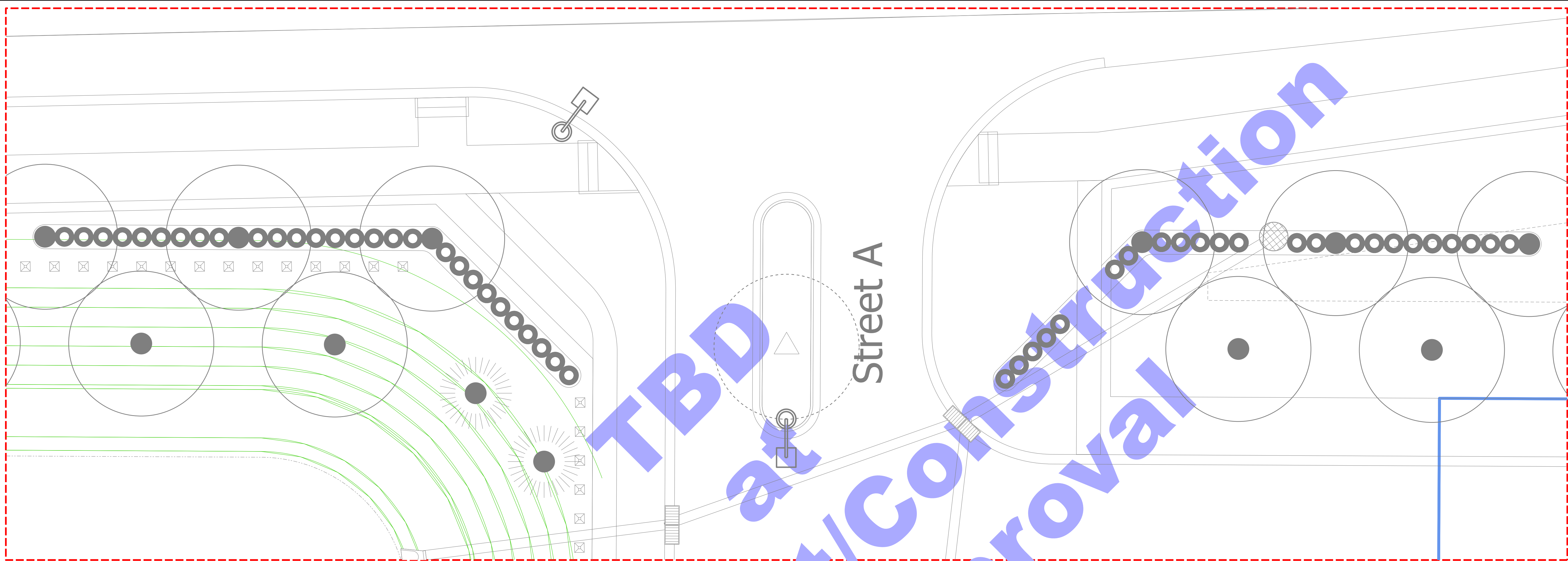
Entry Feature
(with Development Sign)One Foot Contours
(Mound and/or Pond Bank)

NOTES:

1. In addition to the plantings shown on this sheet the Builder shall install on each residential Lot a minimum of i) one 2.5" caliper shade tree, ii) two trees consisting of any combination of 6' high evergreens and/or 1.5" caliper ornamentals, and iii) eight 24" high shrubs. The shrubs shall be planted along the foundation of the primary building. Of the three trees required one deciduous tree must be planted within the front yard.



REVISIONS:		BENCHMARK CONSULTING, INC. 69 AUGUSTA DRIVE BROWNSBURG, IN 46112 (317) 852-5695	
02/27/2023 MODIFIED PAINT SCHEDULE, PAINT LOCATIONS, AND NOTES PER REVISED SITE PLAN AND RECORDED P.L.O.			



PLANT SCHEDULE:

Shrubs, Gramanoids, and Forbs by Developer:

Aronia melanocarpa 'Viking' - 0 @
(Viking Black Chokeberry)

Hydrangea macrophylla 'Bailer' - 0 @
(Endless Summer Bigleaf Hydrangea)

Thuja occidentalis 'Woodwardii' - 0 @
(Woodward Globe Arborvitae)

Viburnum plicatum tomentosum 'Summer Snowflake' - 0 @
(Summer Snowflake Doublefile Viburnum)

LEGEND:

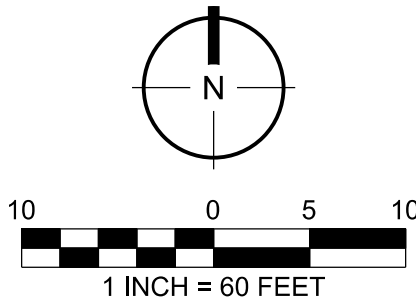
Entry Feature
(with Development Sign)

One Foot Contours
(Mound and/or Pond Bank)

NOTES:

1.

2.



REVISIONS:	
BENCHMARK CONSULTING, INC. 69 AUGUSTA DRIVE BROWNSBURG, IN 46112 (317) 852-5695	
BENCHMARK CONSULTING, INC.	
Preliminary Pending Approval	
DATE:	Beazer Homes 9465 Counselors Row, Suite 125 Indianapolis, IN 46240 317-714-4118 Sean Sullivan sean.sullivan@beazer.com
PREPARED FOR:	Gatherings at Aurora McCordsville, Indiana
Landscape Plan - Entrance	
DATE: 01/20/2023	DRAWN BY: EWS
PROJECT NUMBER: 22007	
SHEET # L103	

PLANT SCHEDULE:

Shrubs, Gramanoids, and Forbs by Developer:

Aronia melanocarpa 'Viking' - 0 @
(Viking Black Chokeberry)

Hydrangea macrophylla 'Bailer' - 0 @
(Endless Summer Bigleaf Hydrangea)

Thuja occidentalis 'Woodwardii' - 0 @
(Woodward Globe Arborvitae)

Viburnum plic. tom. 'Summer Snowflake' - 0 @
(Summer Snowflake Doublefile Viburnum)

LEGEND:

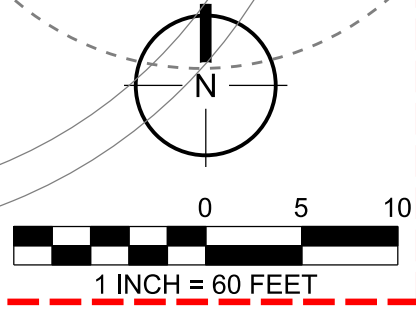
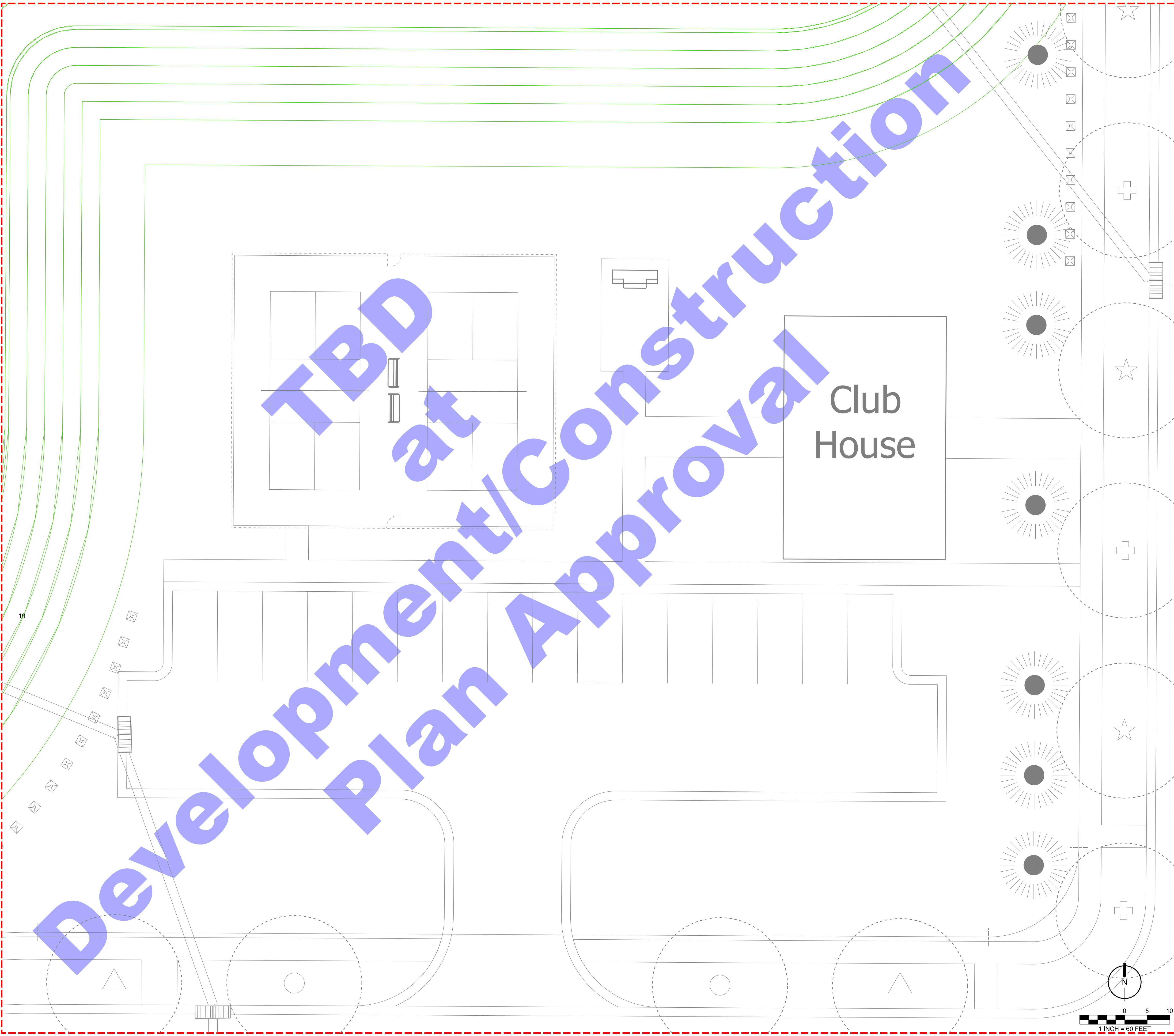
Entry Feature
(with Development Sign)

One Foot Contours
(Mound and/or Pond Bank)

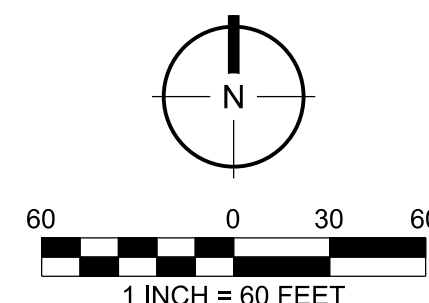
NOTES:

1.

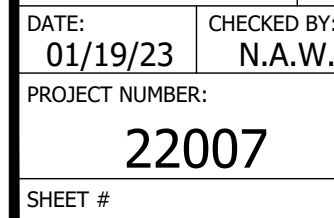
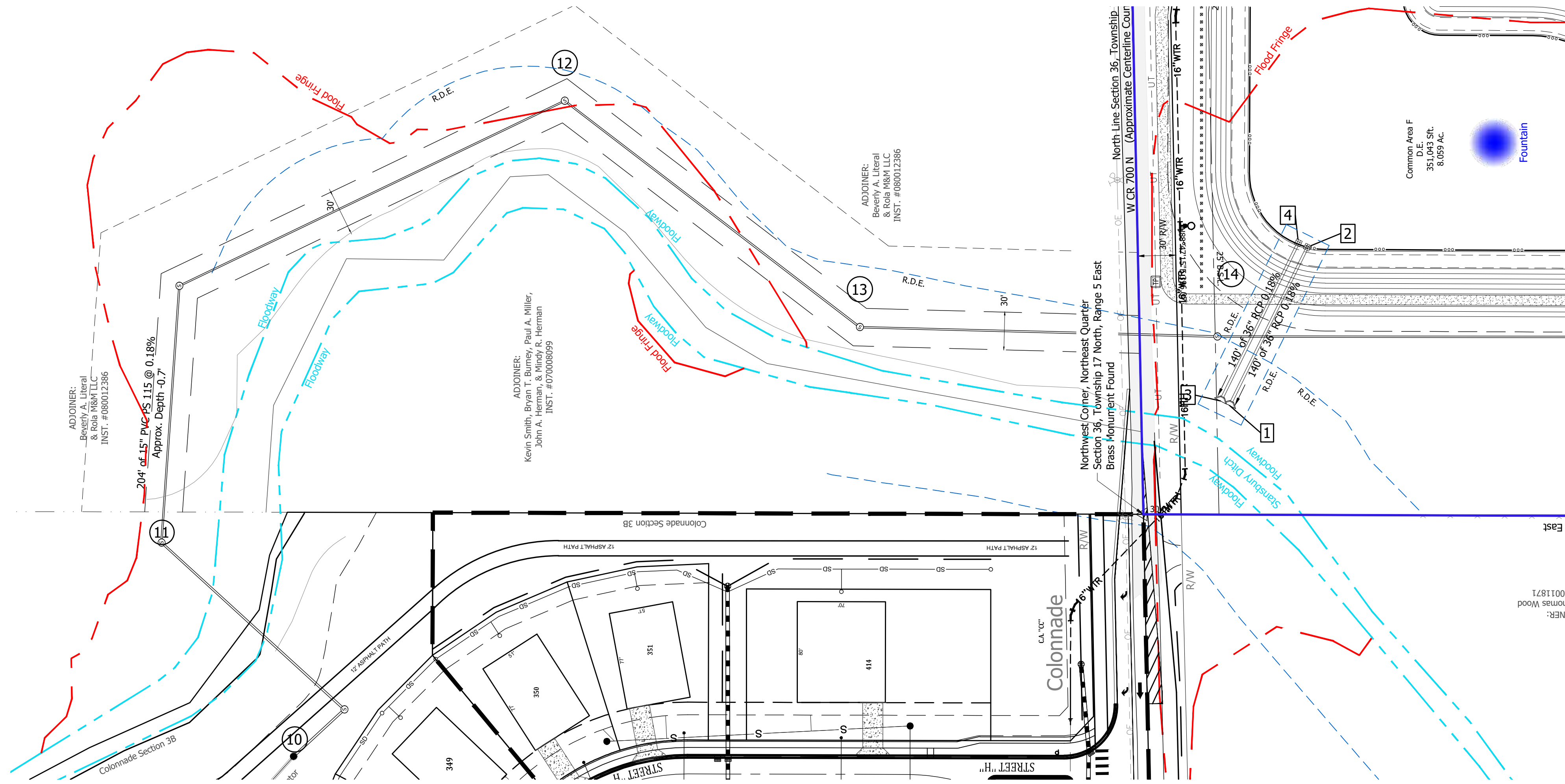
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REVISIONS:		BENCHMARK CONSULTING, INC. 69 AUGUSTA DRIVE BROWNSBURG, IN 46112 (317) 852-5695	
BENCHMARK CONSULTING, INC.		Preliminary Pending Approval	
DATE:		Beazer Homes 9465 Counselors Row, Suite 125 Indianapolis, IN 46240 317-714-4118 Sean Sullivan sean.sullivan@beazer.com	
Gatherings at Aurora McCordsville, Indiana Landscaping Plan - Amenity		DATE: 01/20/2023 DRAWN BY: EWS PROJECT NUMBER: 22007	
SHEET #		L104	



- | DATE: 01/20/2023 | | DRAWN BY: EWS | | | |
|--|-------------|---------------|-----|-------------|------|
| PROJECT NUMBER:
22007 | | | | | |
| SHEET #
L201 | | | | | |
| <div style="display: flex; justify-content: space-between;"> <div style="width: 60%;"> <p>Gatherings at Aurora</p> <p>McCordsville, Indiana</p> <p>Landscaping Plan - Section 2</p> </div> <div style="width: 35%; text-align: right;"> <p>PREPARED FOR:</p> <p>Beazer Homes</p> <p>9465 Counselors Row, Suite 125
Indianapolis, IN 46240
317-714-4118</p> <p>Sean Sullivan
sean.sullivan@beazer.com</p> </div> </div> | | | | | |
| <div style="text-align: center;"> </div> | | | | | |
| <div style="display: flex; align-items: center;"> <div style="flex: 1;"> <p>DATE:</p> </div> <div style="flex: 1; text-align: center;">
 BENCHMARK CONSULTING, INC.
 69 AUGUSTA DRIVE BROWNSBURG, IN 46112
 (317) 852-5695 </div> </div> | | | | | |
| <div style="display: flex;"> <div style="flex: 1;"> <p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table> </div> <div style="flex: 1; font-size: small;"> <p>02/27/2023 MODIFIED PLANT SCHEDULE, PLANT LOCATIONS, AND NOTES PER REVISION SITE PLAN AND RECORDS P.L.D.</p> </div> </div> | | | NO. | DESCRIPTION | DATE | |
| NO. | DESCRIPTION | DATE | | | |
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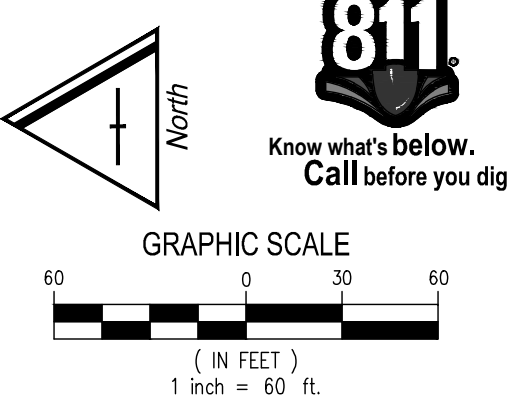
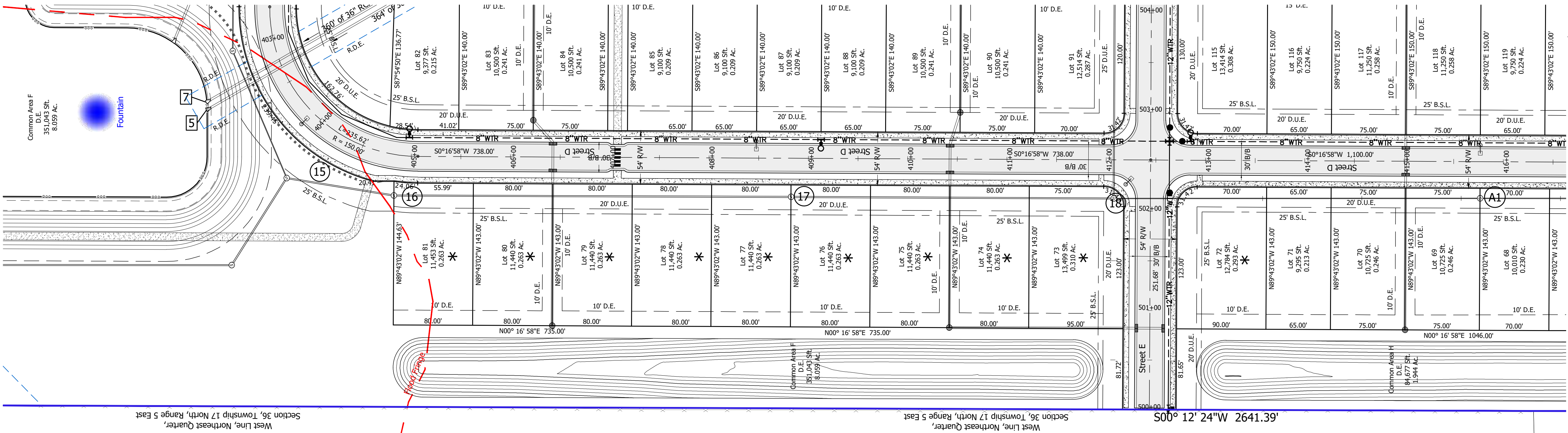
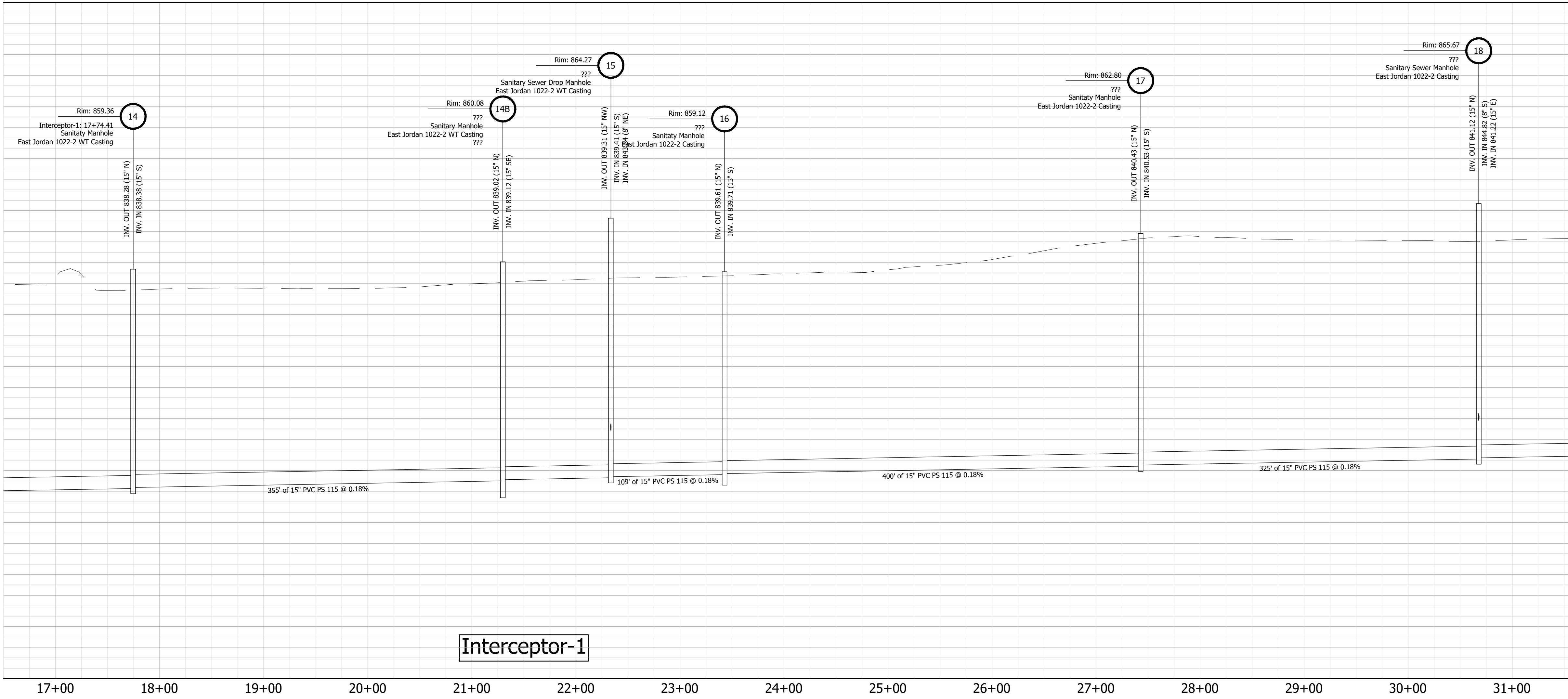




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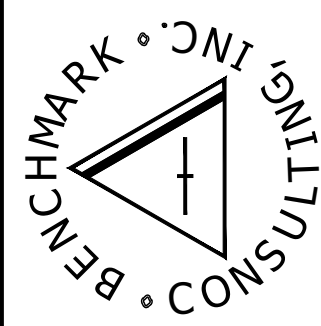
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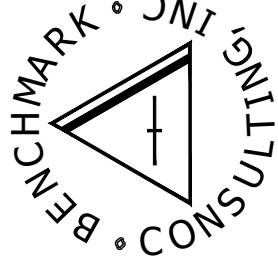
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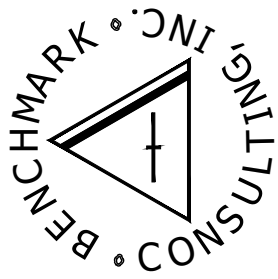


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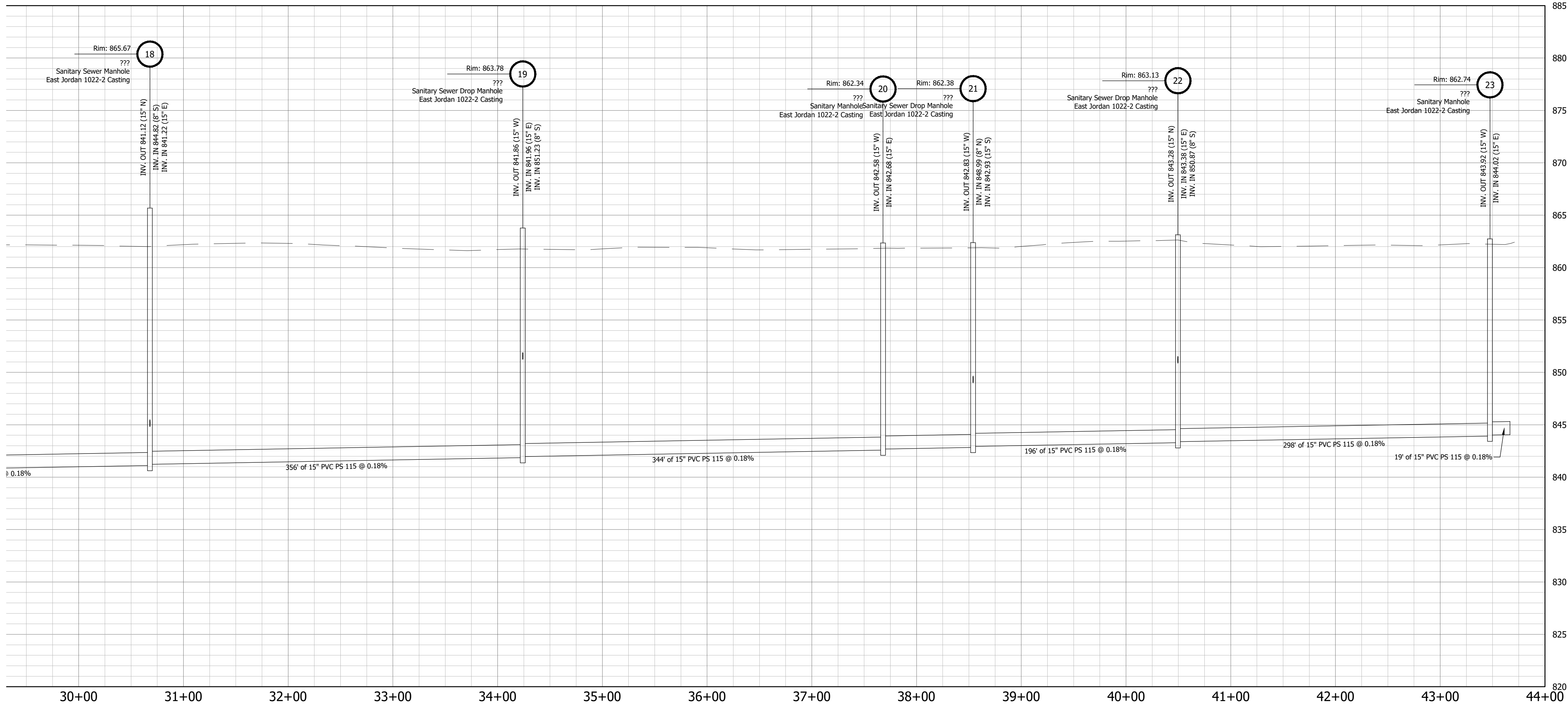
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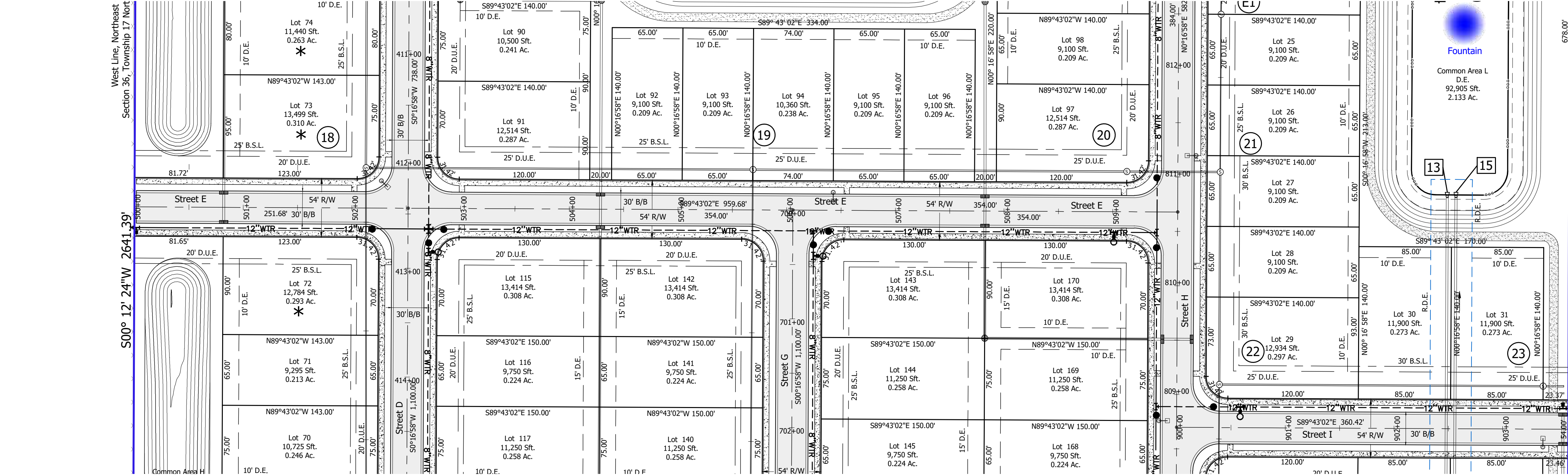
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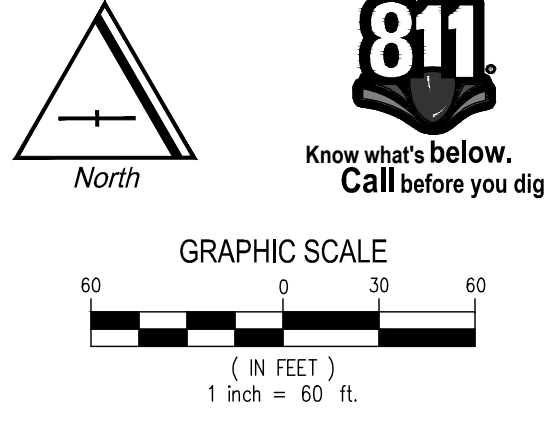
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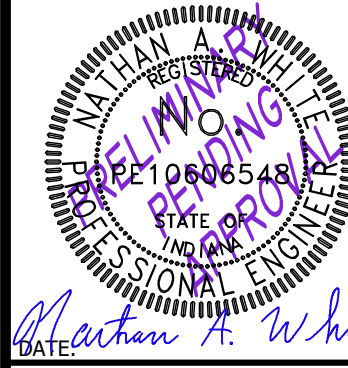
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PROJECT NUMBER: 22007
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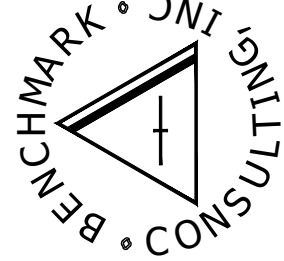
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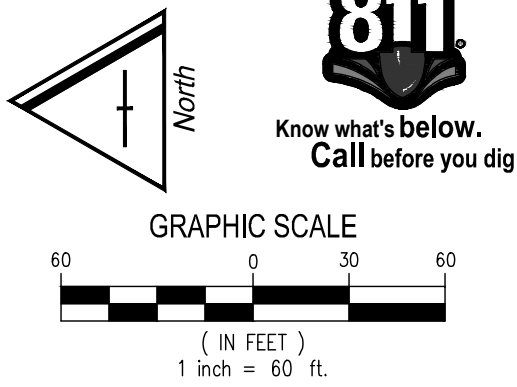
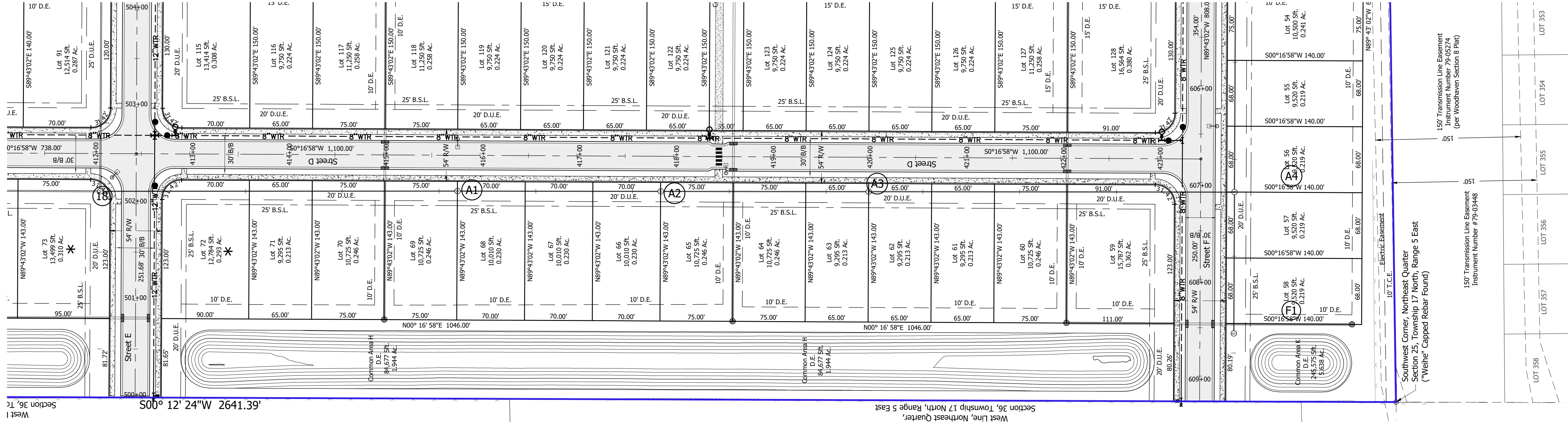
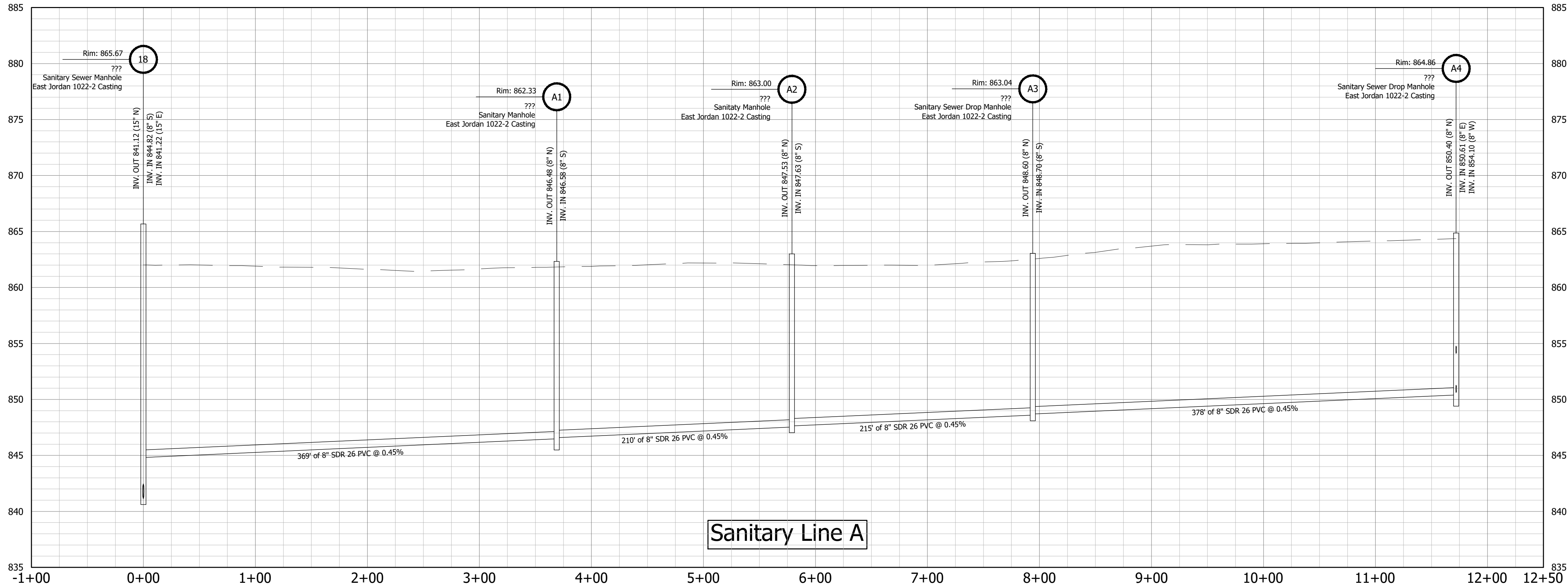
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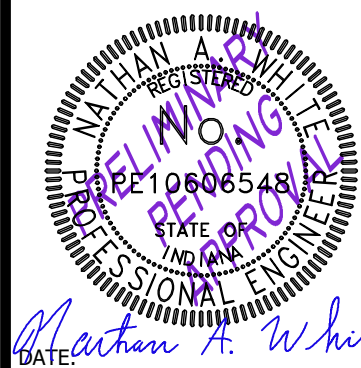
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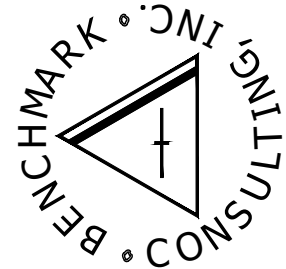
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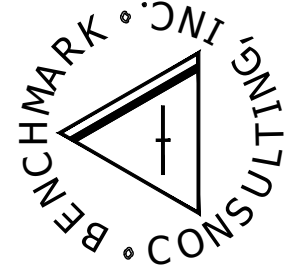


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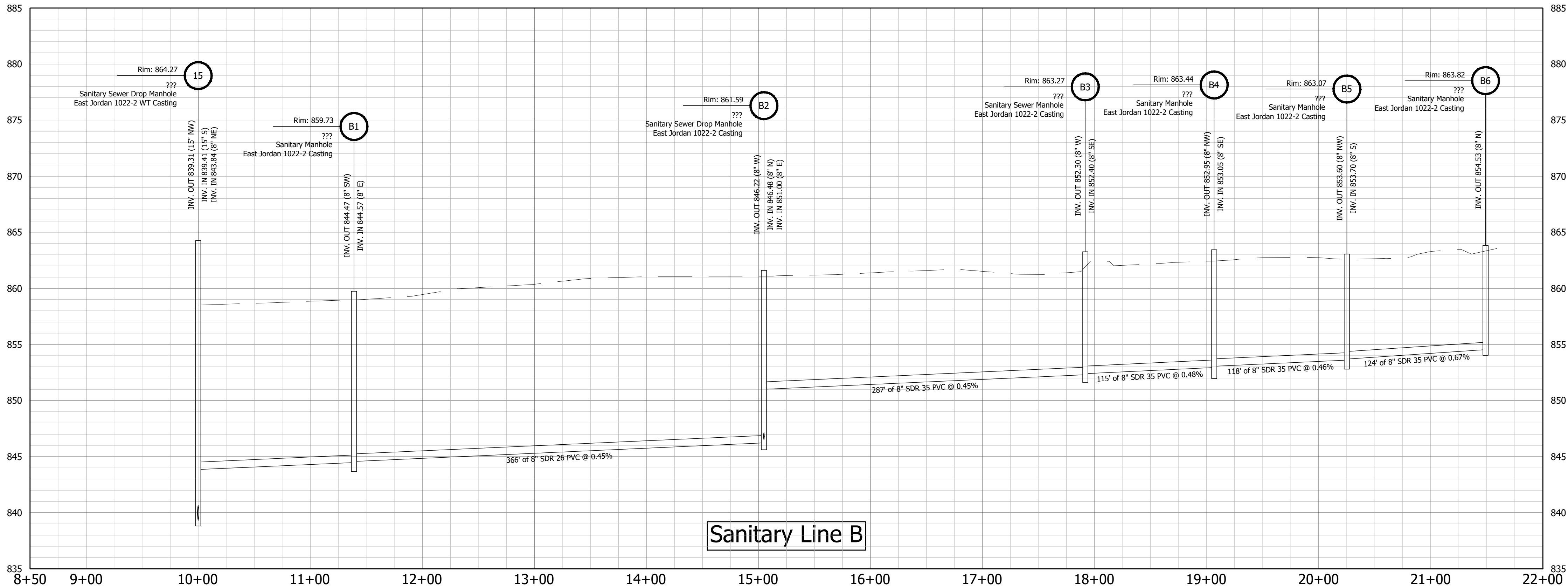
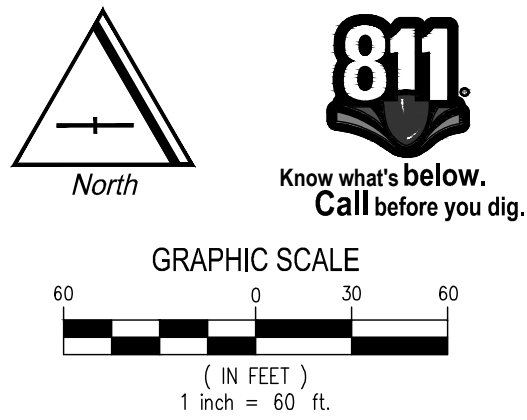
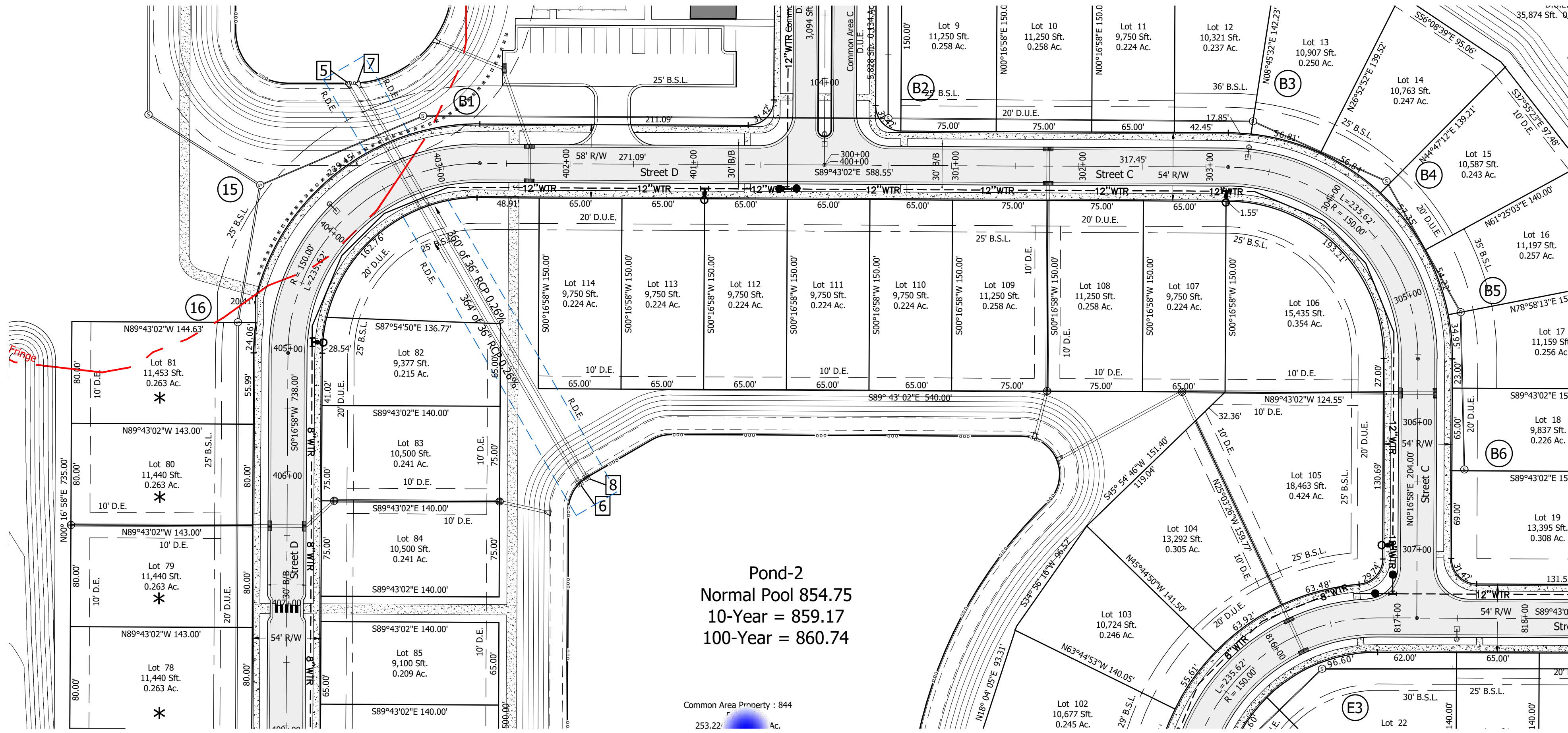
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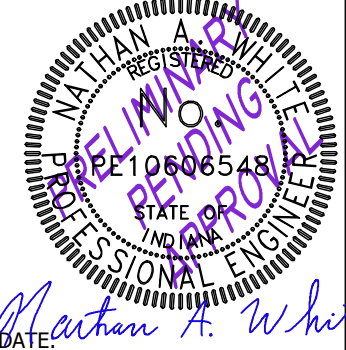
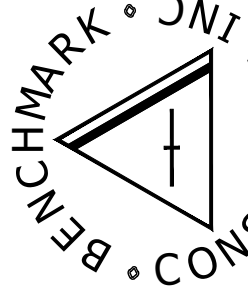


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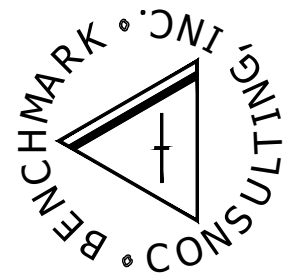
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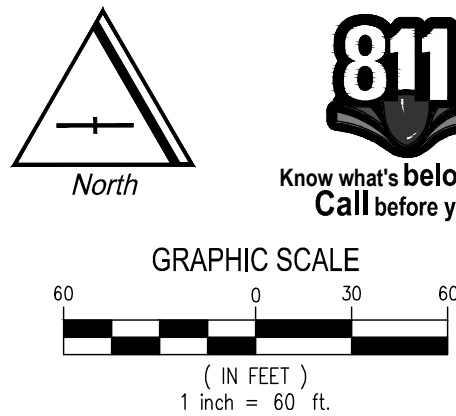
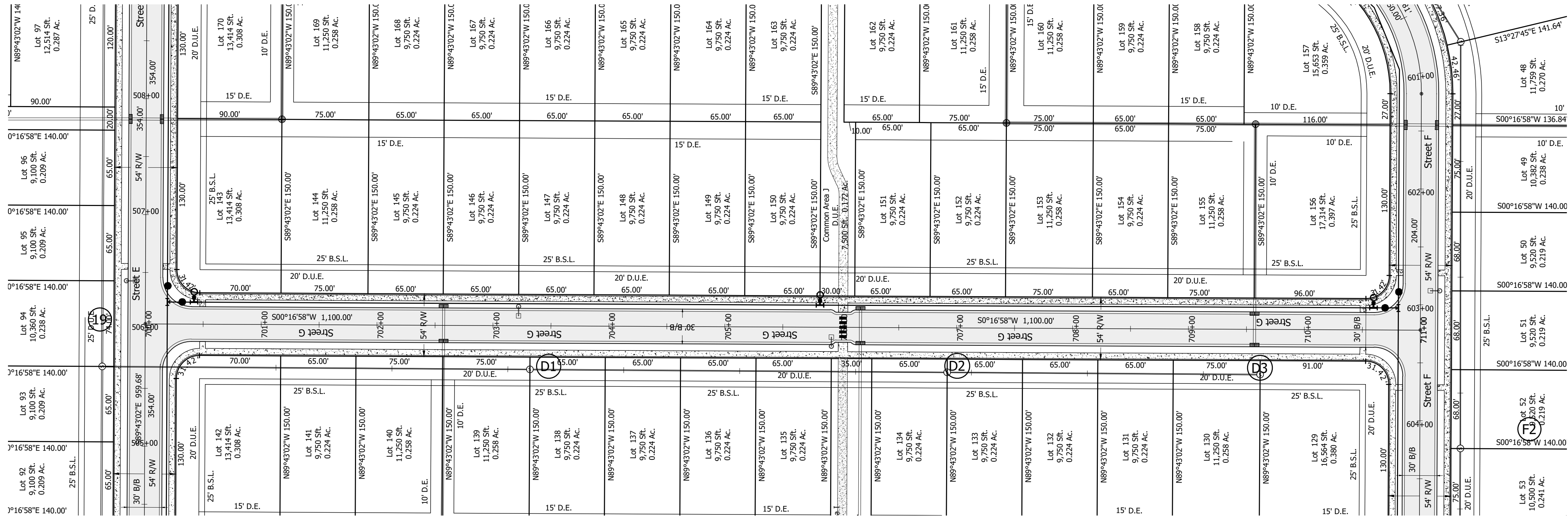
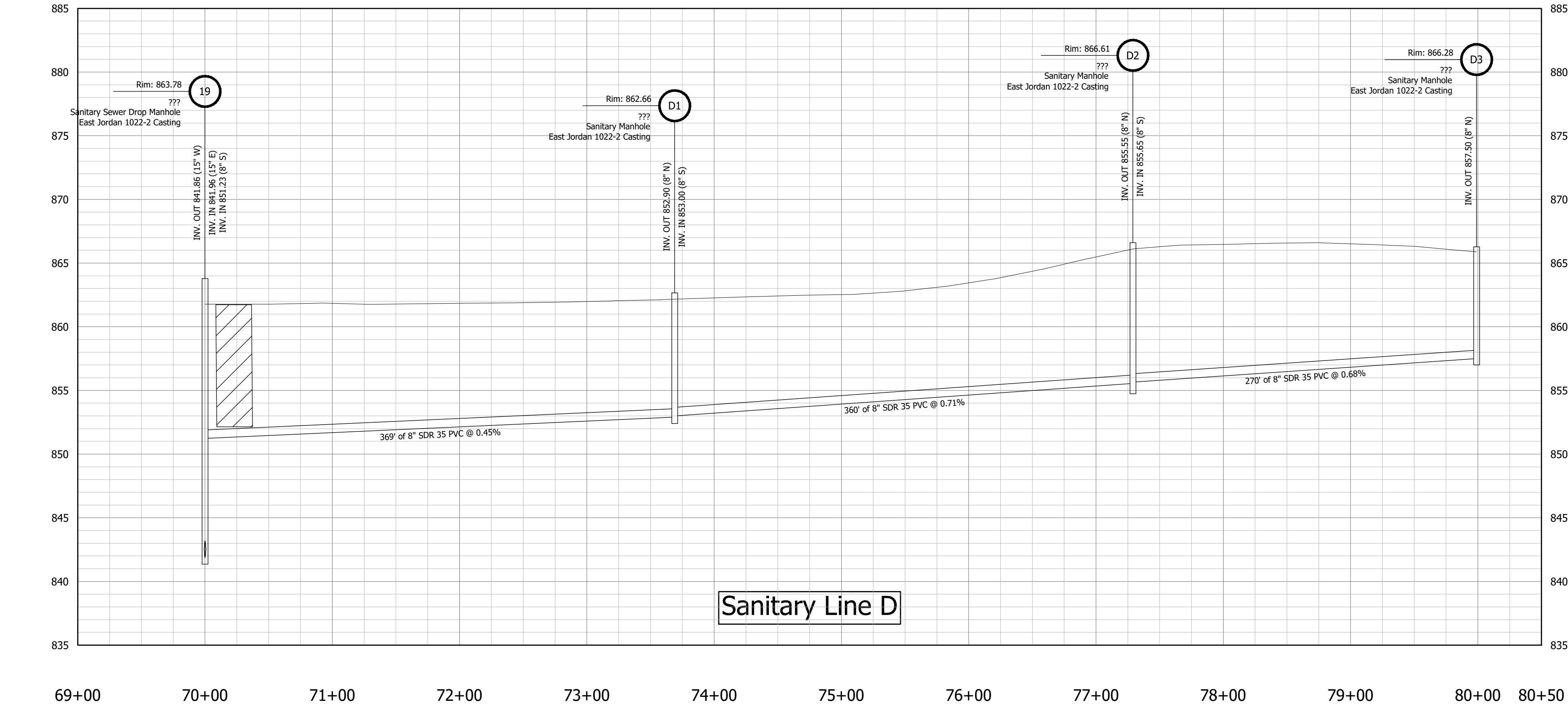
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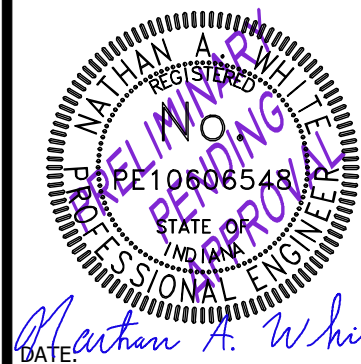
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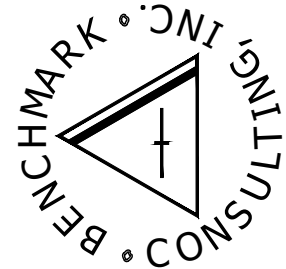
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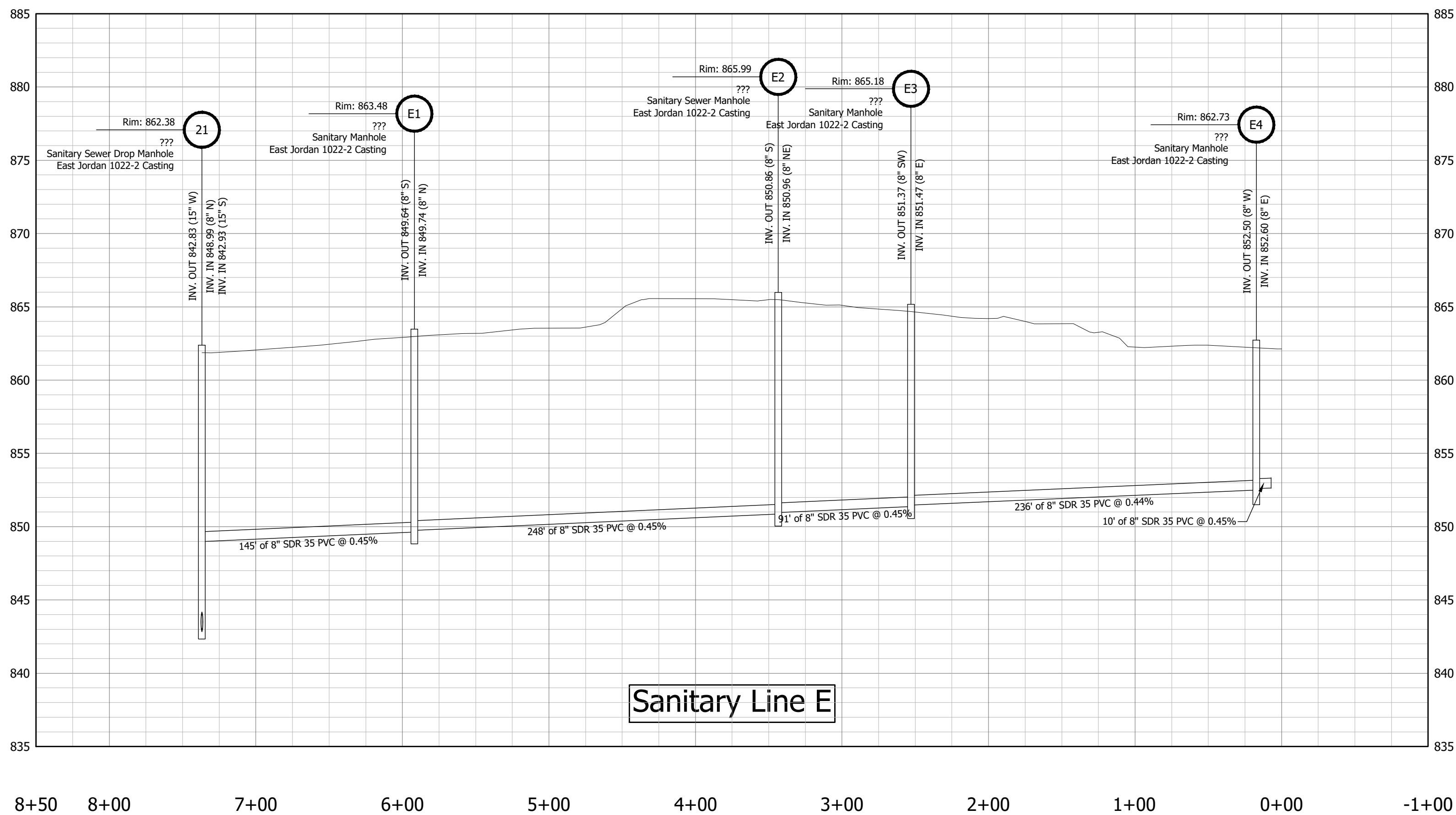
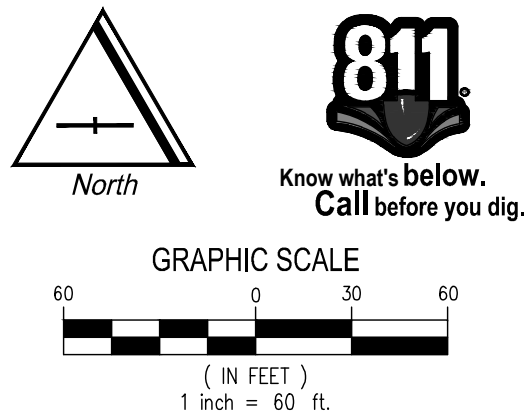
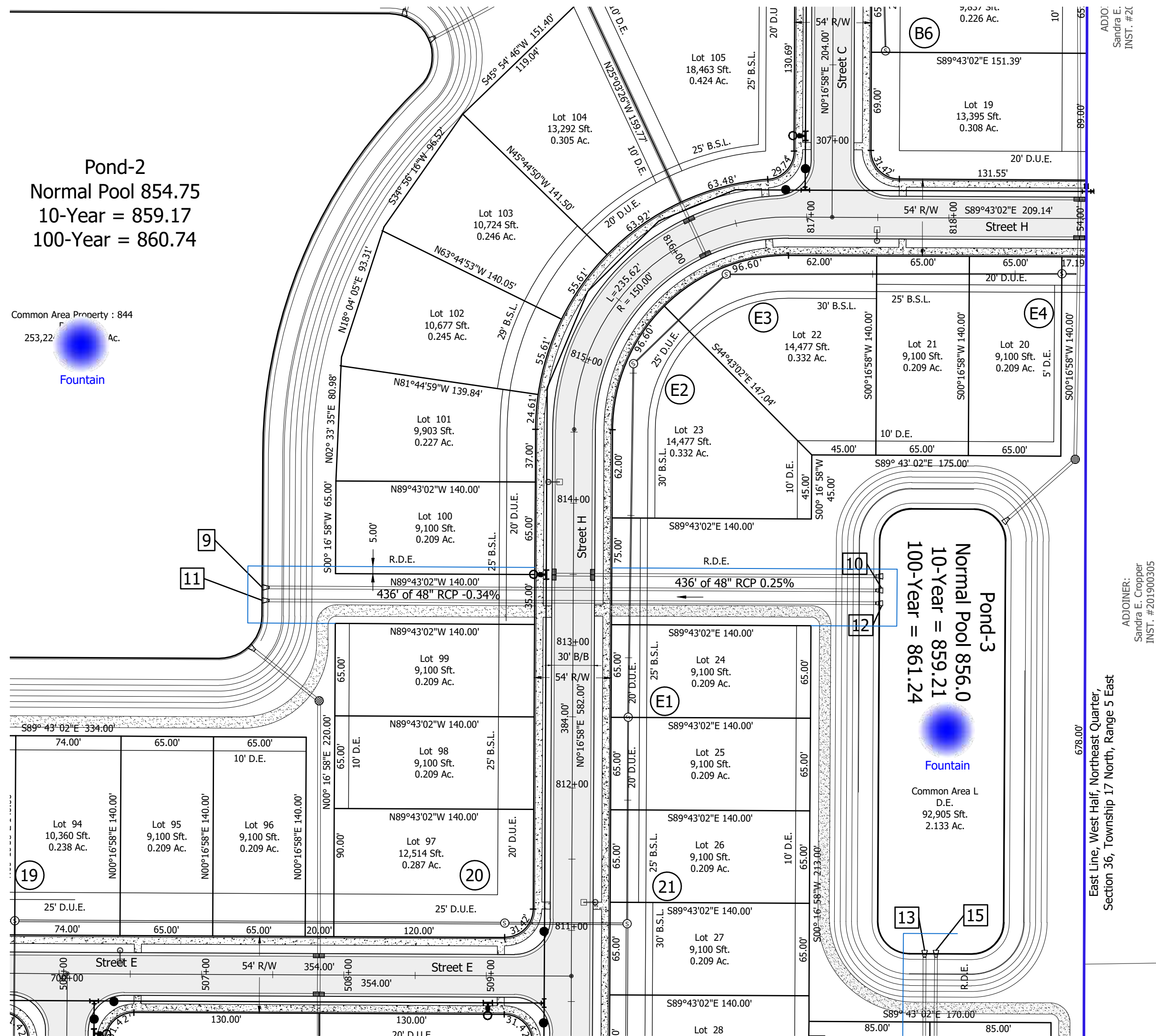
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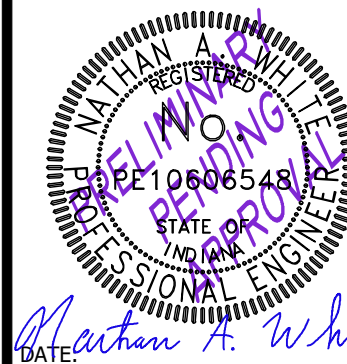
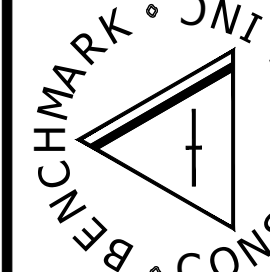


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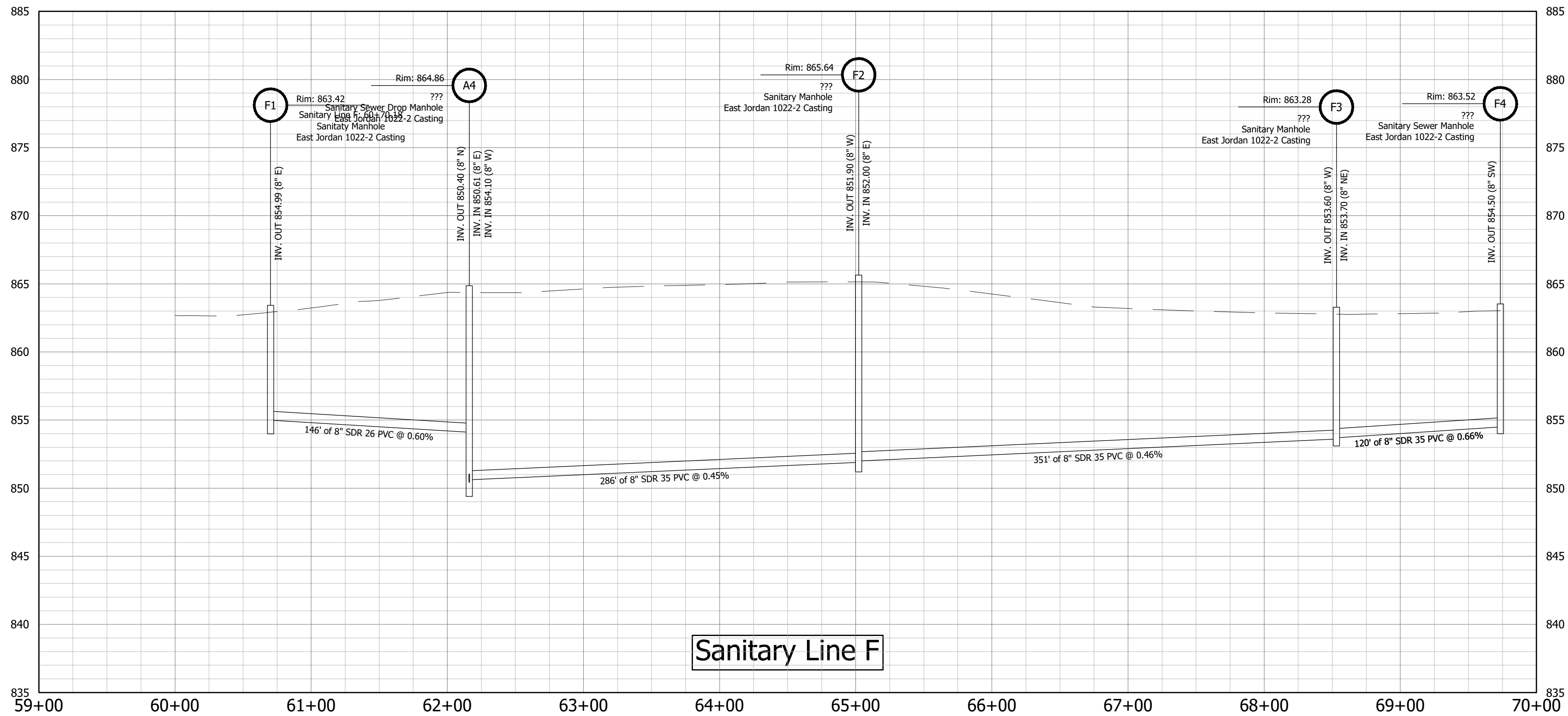
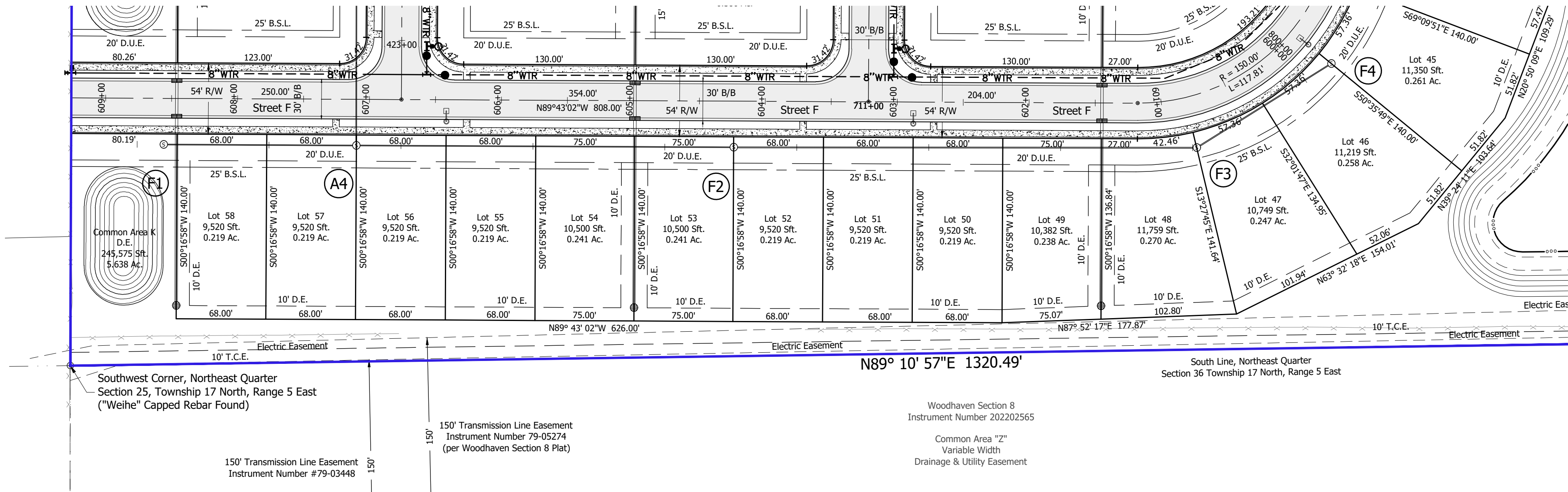
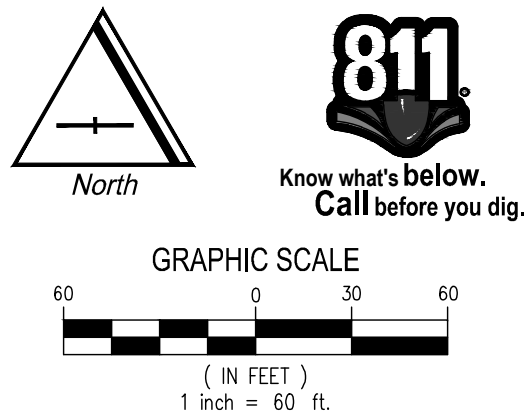
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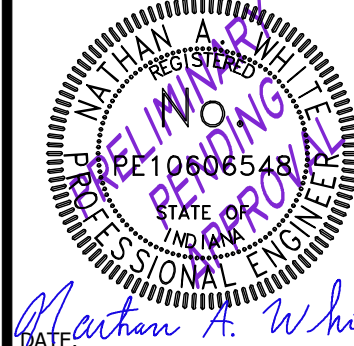
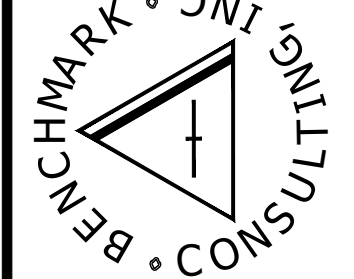


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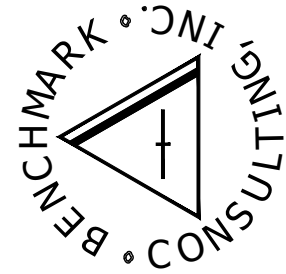
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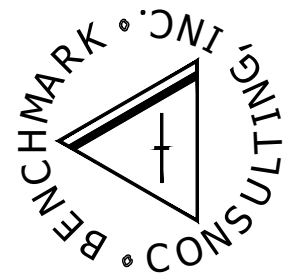
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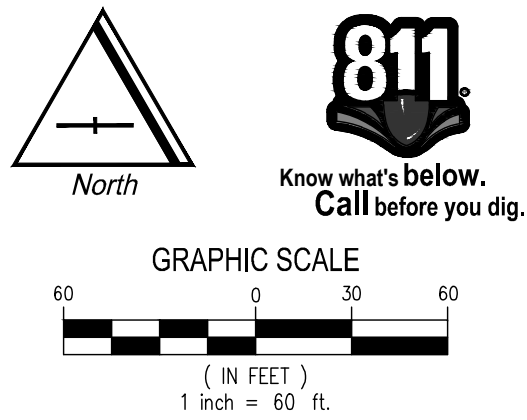
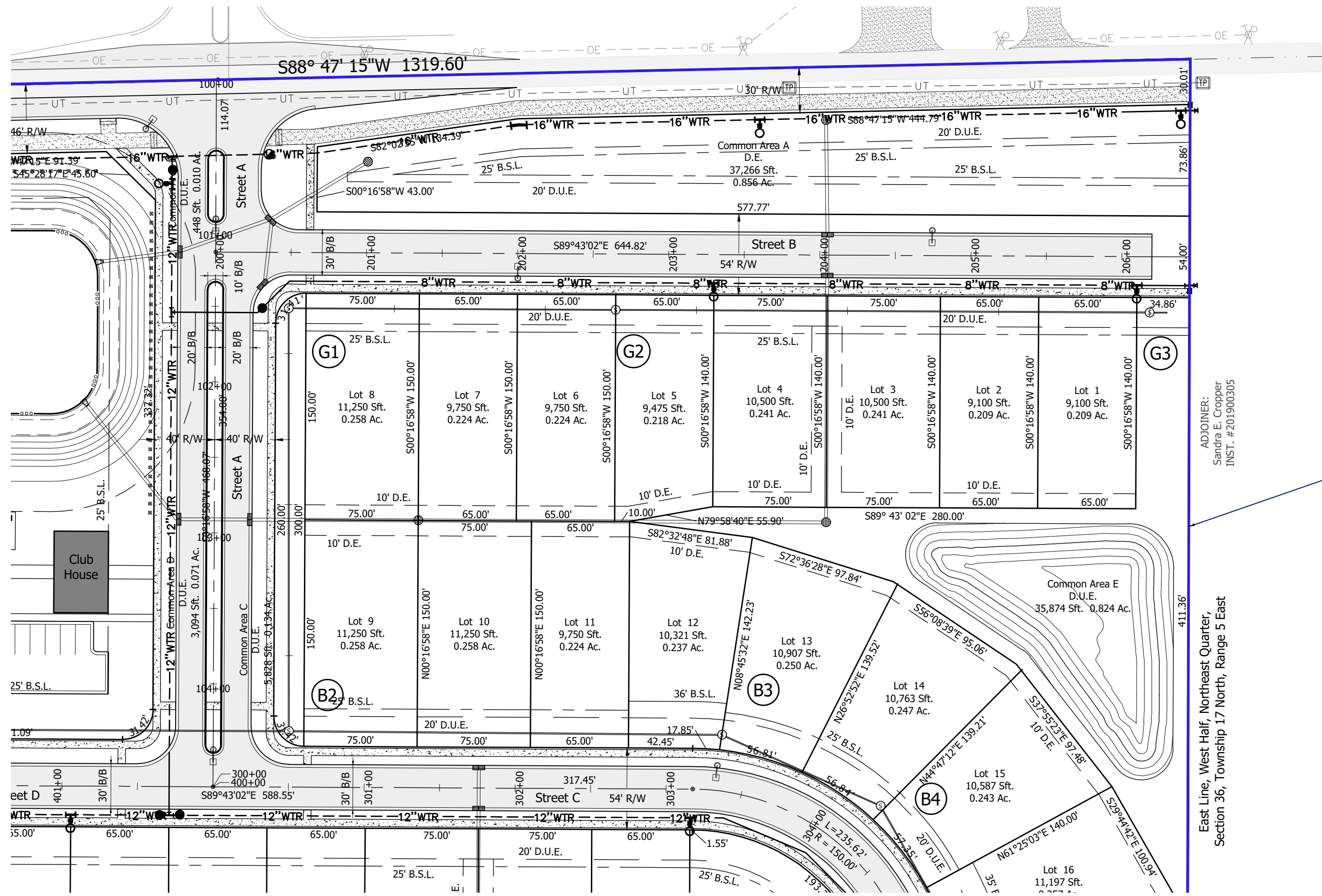
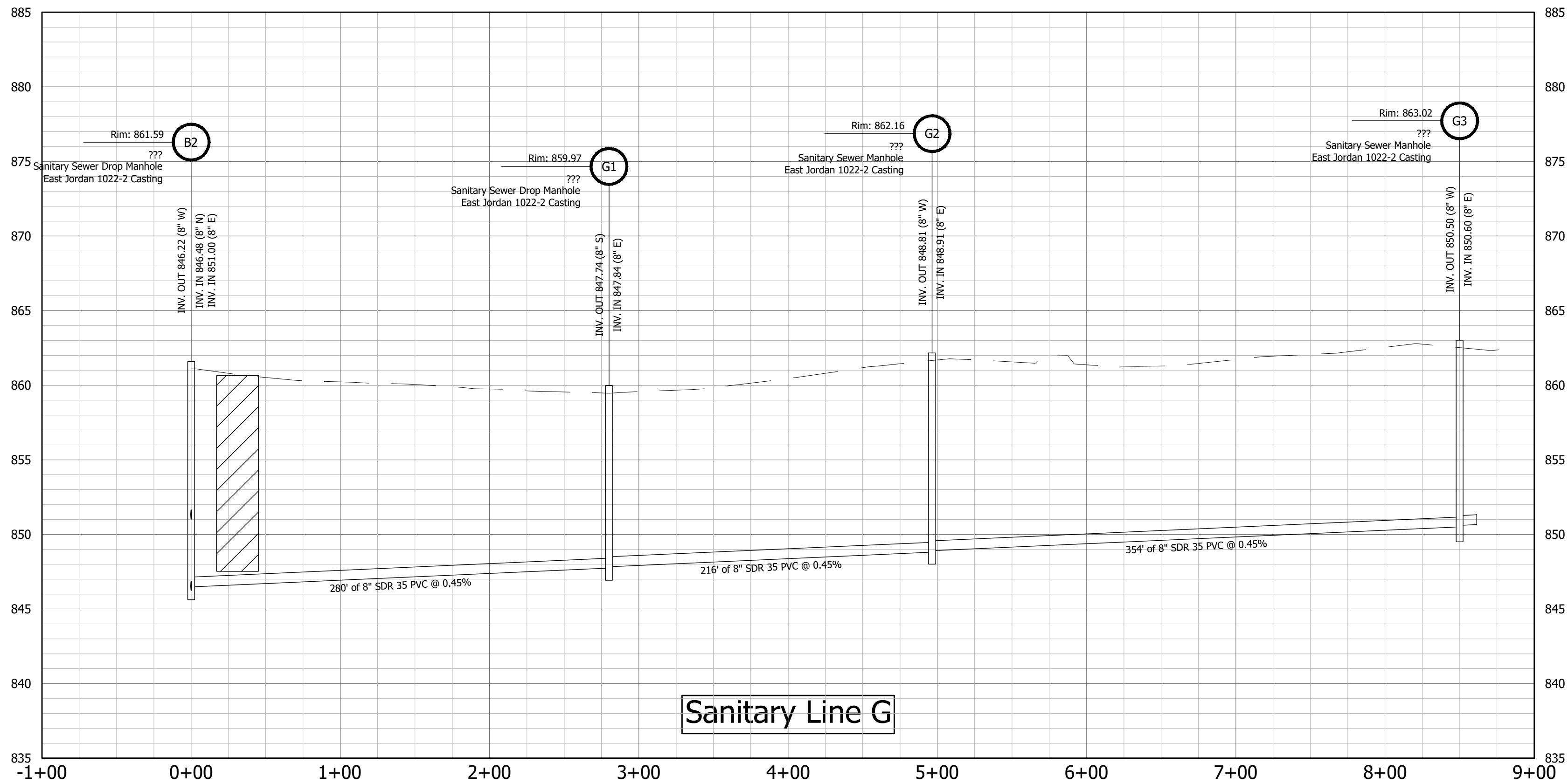
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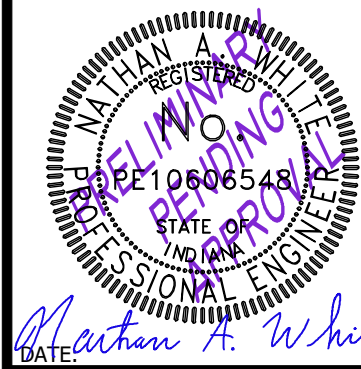
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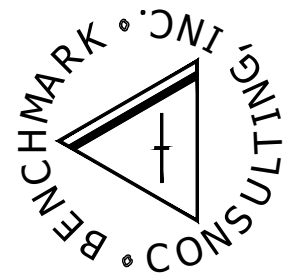


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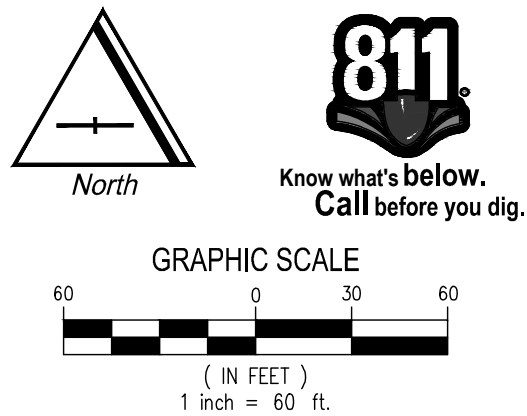
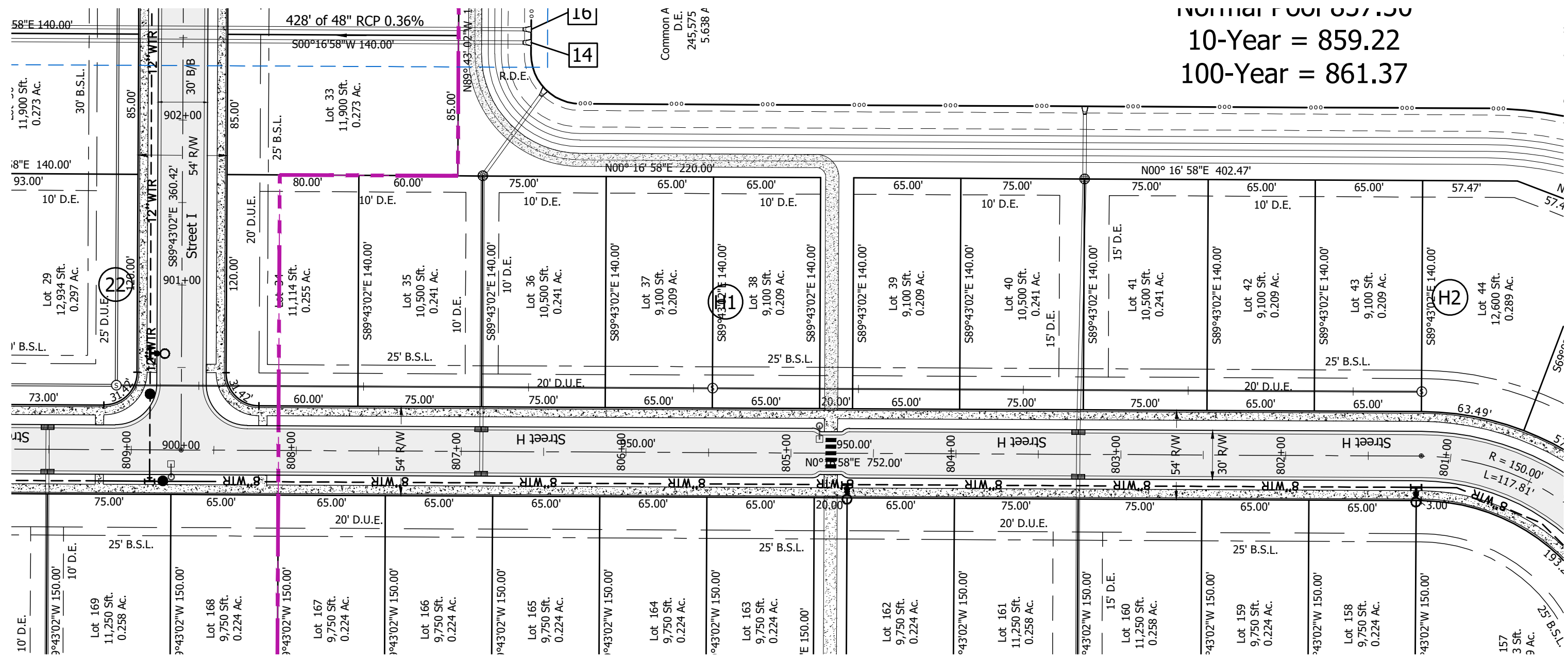
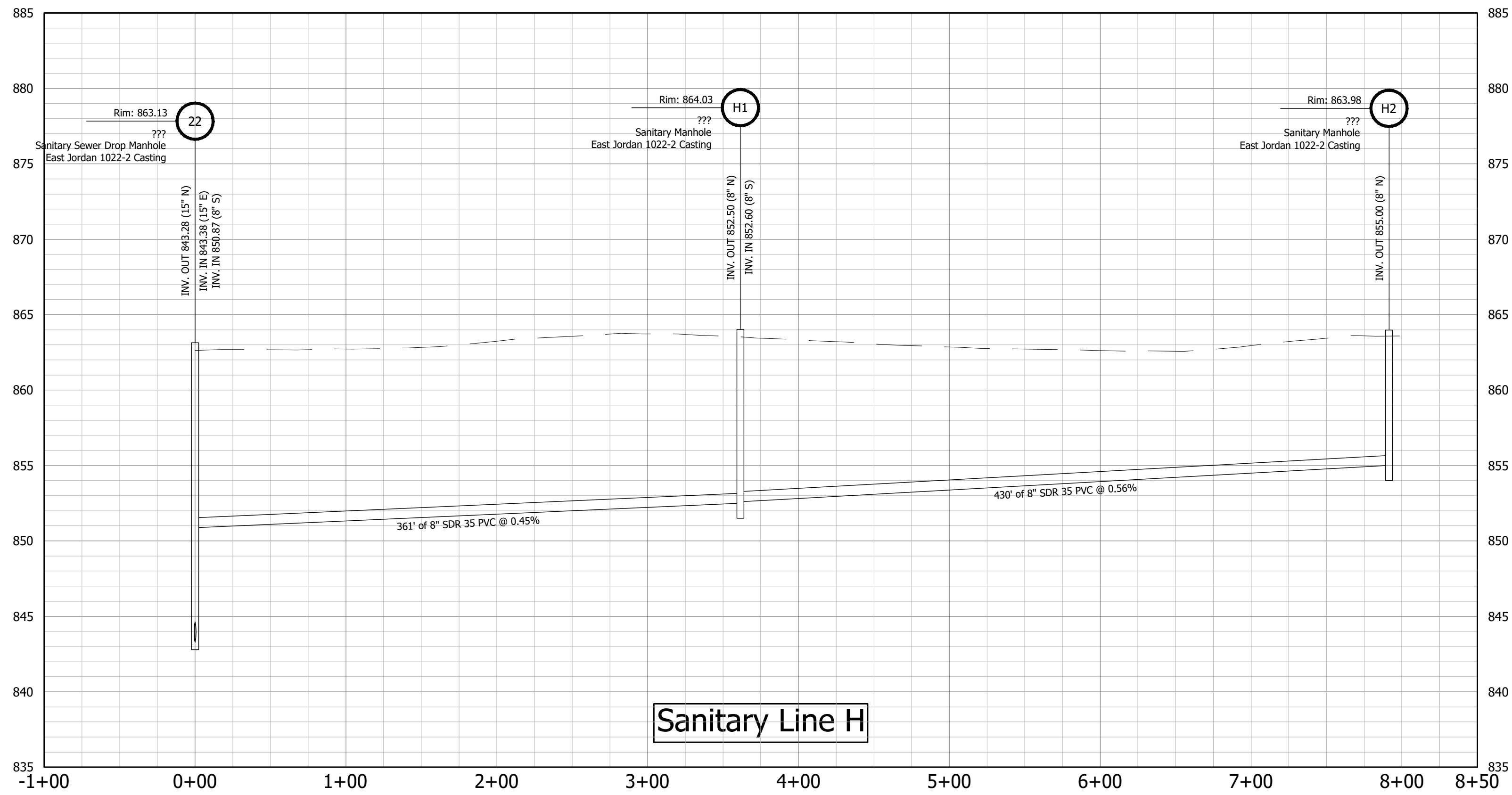
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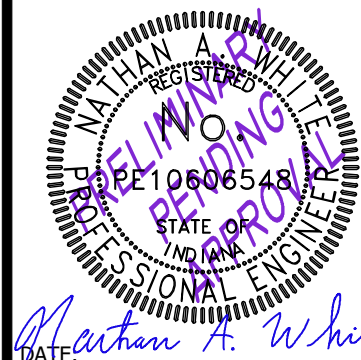
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