



CURRAN
ARCHITECTURE

5719 LAWTON LOOP E. DR. #212
INDIANAPOLIS, IN 46216
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CERTIFICATION

PRELIMINARY
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01.14.2021

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PROJECT INFORMATION

SOUTHWARK
MANUFACTURING
MT COMFORT ROAD
MCCORDSVILLE INDIANA

ISSUE DATES

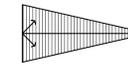
ISSUE	DATE
DESIGN DEVELOPMENT SET	12.31.2020

200087

ROOF PLAN

A120

ROOF PLAN LEGEND



DENOTES TAPERED INSULATION OR ROOF CRICKETS TO ROOF DRAIN LOCATIONS. SLOPE MIN OF 1/4" FOOT AS INDICATED BY ARROWS OR TWICE THE AMOUNT OF THE UNDERLYING DECK WHICHEVER IS GREATER.



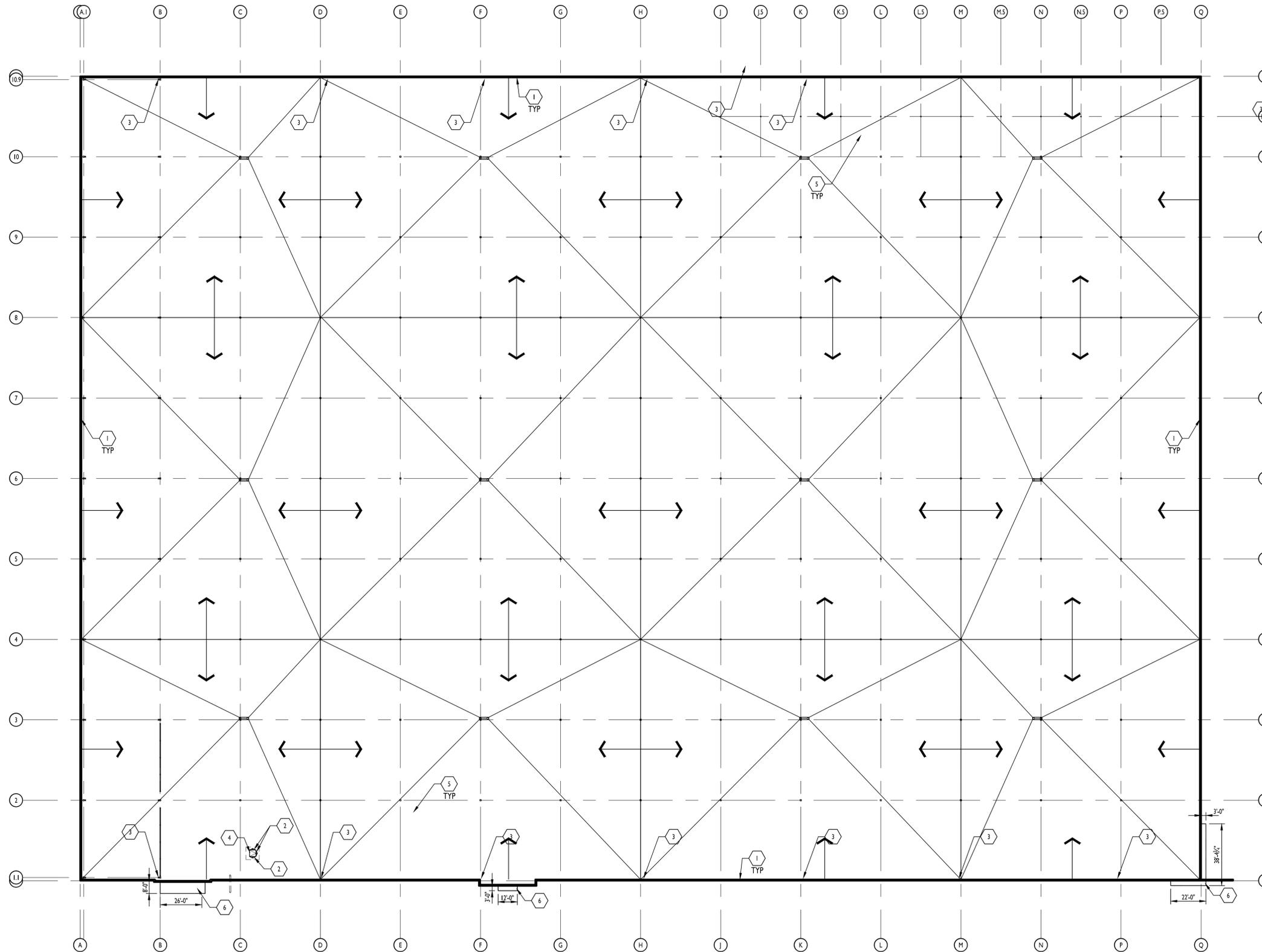
DENOTES ROOF SLOPE AT 1/4" / FOOT MINIMUM.

MECHANICALLY FASTENED 45 MIL TPO MEMBRANE WITH RIGID POLYISOCYANURATE INSULATION AT MINIMUM OF R-20. ROOF TO HAVE FULL 20 YEAR WARRANTY MEMBRANE AND LABOR. INSULATION TO BE TWO LAYERS WITH STAGGERED JOINTS. MEMBRANE SHEETS RUN PERPENDICULAR TO THE DECK FLUTES. FOAM PERIMETER OF INSULATION. SEE DETAIL. PROVIDE ALTERNATE FOR INDUCTION WELDED SEAMS.

ROOF TYPE #1

KEYED NOTES

1. PRE-FINISHED METAL ROOF EDGE W/ DRIP TO MEET ROOF MANUFACTURER'S REQUIREMENTS. SEE ELEVATIONS FOR TALL PARAPET LOCATIONS.
2. TAPERED INSULATION TO DIRECT WATER TOWARDS DRAINS.
3. ROOF DRAIN WITH OVERFLOW. SET OVERFLOW 1" ABOVE ROOF DRAIN. COORDINATE SIZE & LOCATION WITH MECHANICAL CONTRACTOR. SEE STRUCTURAL FOR ROOF OPENING REINFORCEMENT. SEE DETAIL 8/AS02.
4. ROOF ACCESS HATCH W/ LADDER UP RAIL. SIZE & CONFIGURATION TO BE DETERMINED. COORDINATE LOCATION W/ LADDER IN FIELD. SEE STRUCTURAL FOR ROOF OPENING REINFORCEMENT. SEE SECTIONS. BILCO S-20 48" X 48" EQUIPMENT HATCH OR EQUAL.
5. LINE DEDUCTS GENERAL SLOPE OF ROOF STRUCTURE.
6. LINE OF AWNING BELOW.



ROOF PLAN
1/32" = 1'-0"



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RENDERINGS

A201



RENDERING 1
NTS



RENDERING 3
NTS

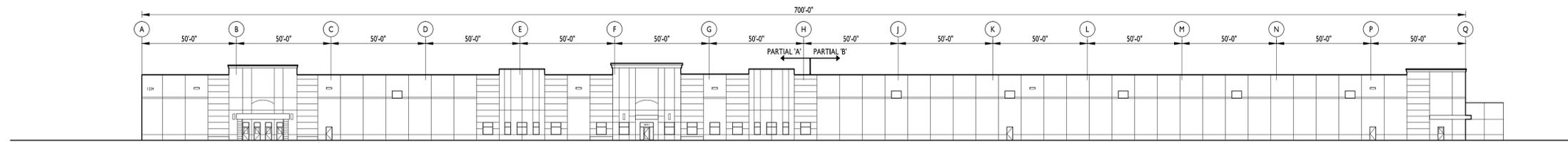


RENDERING 2
NTS

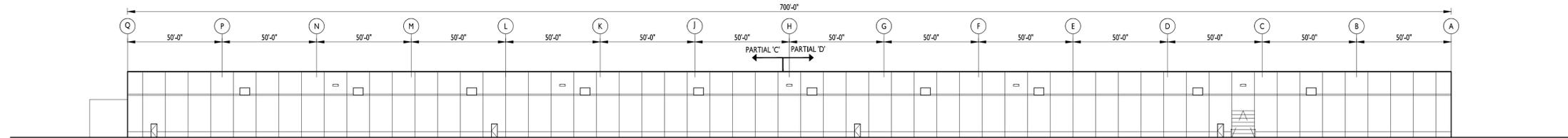


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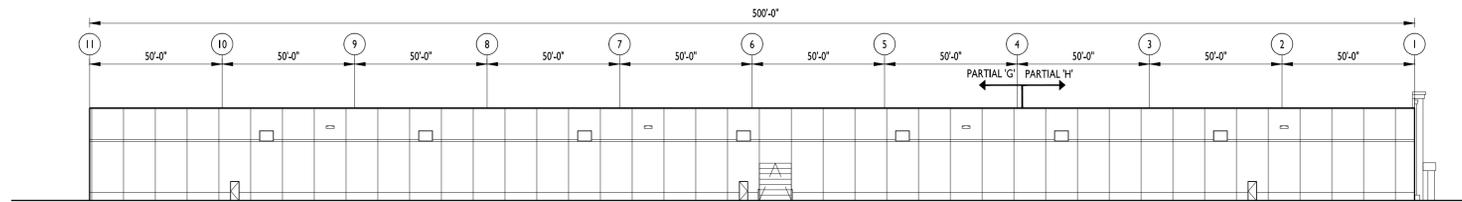
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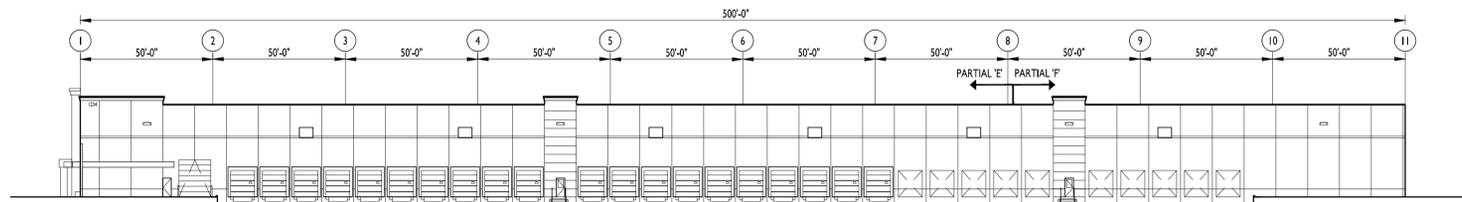
OVERALL WEST ELEVATION 1
1/32"=1'-0"



OVERALL NORTH ELEVATION 2
1/32"=1'-0"



OVERALL EAST ELEVATION 3
1/32"=1'-0"



OVERALL SOUTH ELEVATION 4
1/32"=1'-0"

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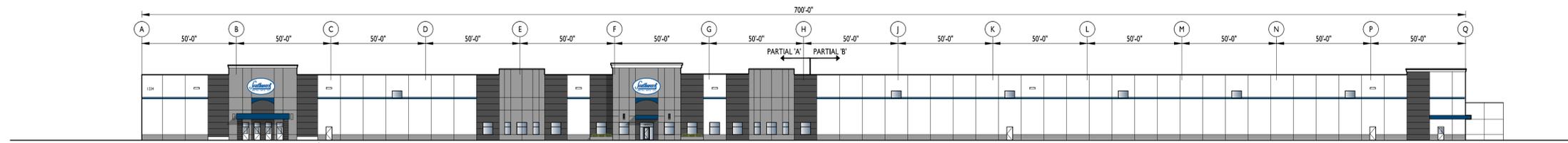
OVERALL EXTERIOR
ELEVATIONS

A202

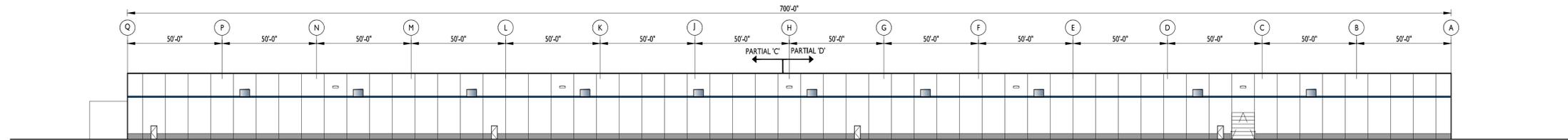


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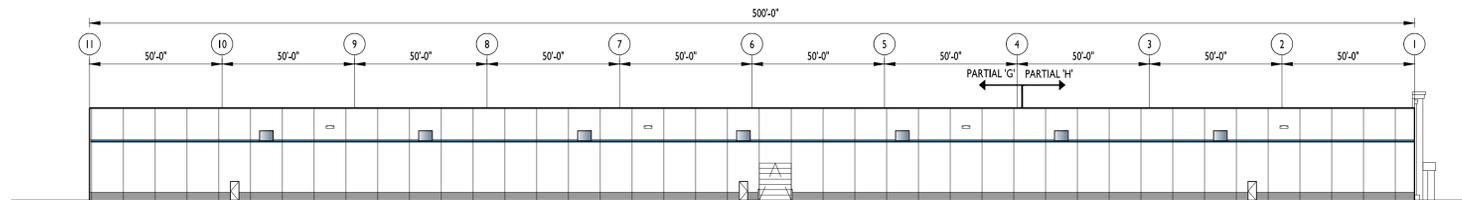
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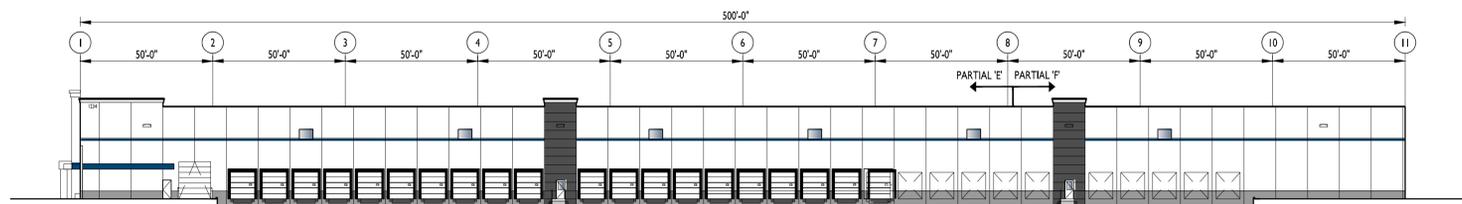
OVERALL WEST ELEVATION 1
1/32"=1'-0"



OVERALL NORTH ELEVATION 2
1/32"=1'-0"



OVERALL EAST ELEVATION 3
1/32"=1'-0"



OVERALL SOUTH ELEVATION 4
1/32"=1'-0"

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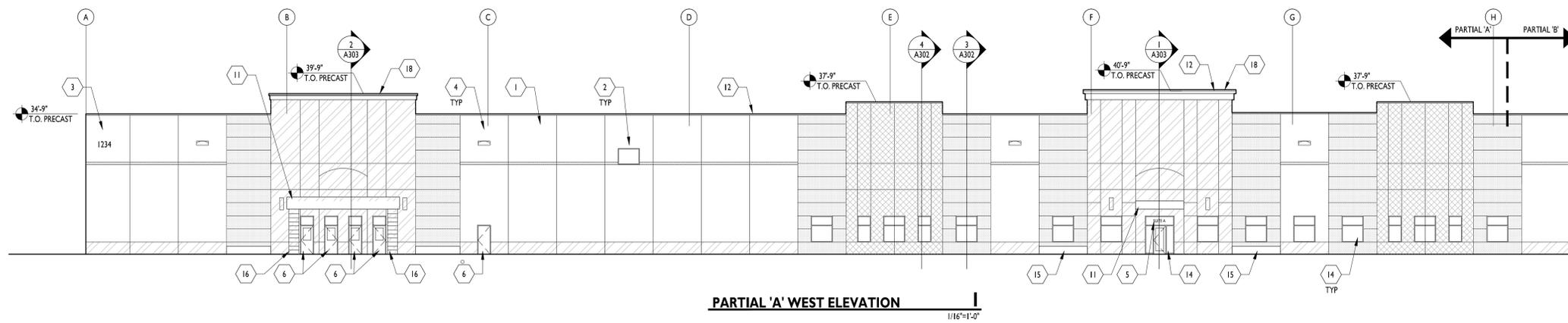
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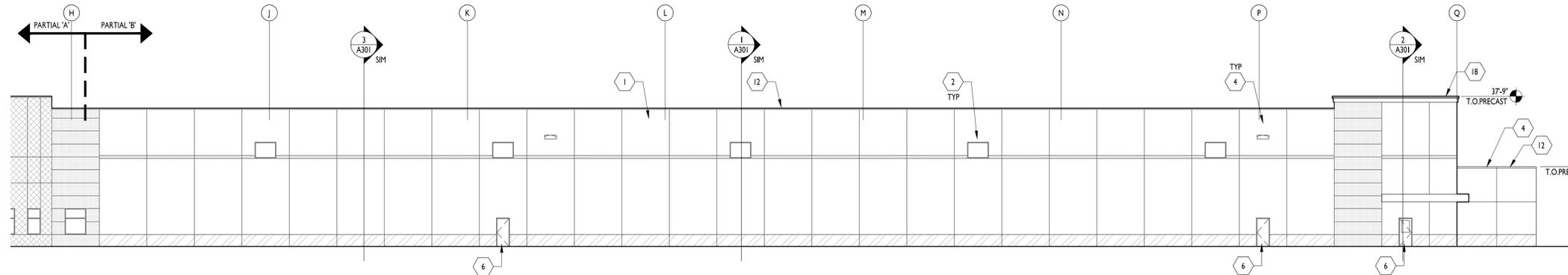
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OVERALL EXTERIOR
ELEVATIONS

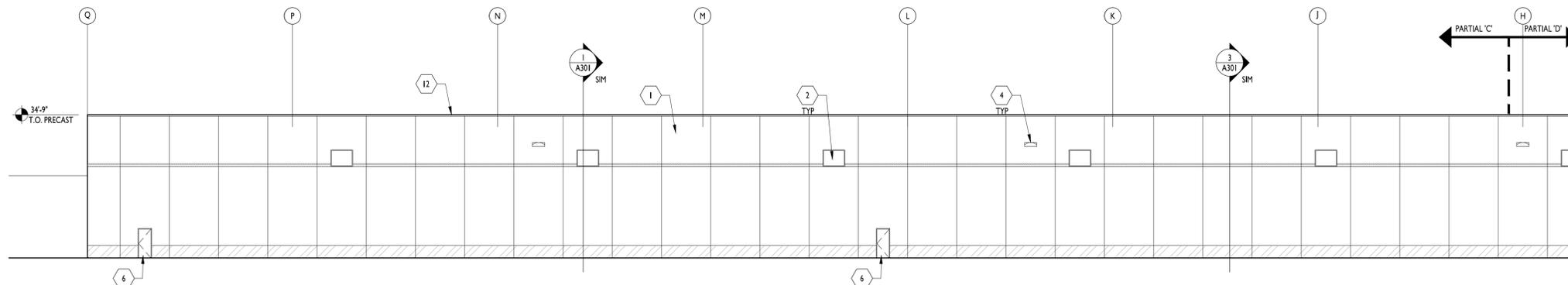
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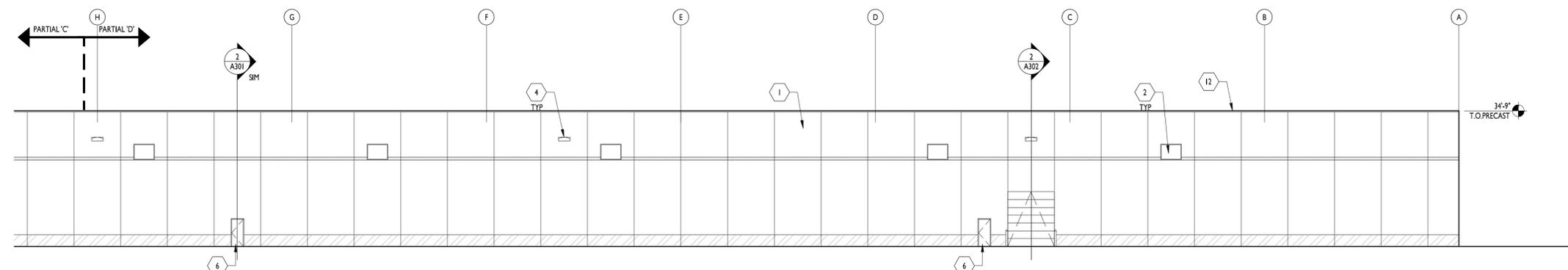
PARTIAL 'A' WEST ELEVATION 1
1/16"=1'-0"



PARTIAL 'B' WEST ELEVATION 2
1/16"=1'-0"



PARTIAL 'C' EAST ELEVATION 3
1/16"=1'-0"



PARTIAL 'D' EAST ELEVATION 4
1/16"=1'-0"

KEYED NOTES

1. PRE-CAST CONCRETE PANEL WITH PAINTED FINISH. REVEALS CAST IN AS SHOWN. REFER TO WALL SECTIONS FOR ADDITIONAL DETAIL.
2. TYPICAL CLERESTORY WINDOW. THERMALLY BROKEN ALUMINUM STOREFRONT FRAMING WITH INSULATED TINTED GLASS. REFER TO STOREFRONT ELEVATIONS. CENTER ON WIDTH OF PANEL. SEE SECTION FOR HEIGHTS.
3. FIN MOUNTED ANODIZED ALUMINUM BUILDING ADDRESS NUMBER. COORDINATE WITH ARCHITECT ON FONT AND SIZE. MINIMUM HEIGHT TO BE 12".
4. WALL PACK LOCATION. SEE SITE LIGHTING PLAN. CENTER ON PRECAST PANEL.
5. VINYL SLITTE NUMBER ON GLASS. CENTERED OVER DOOR. COORDINATE WITH FIRE MARSHALL ON SIZE AND COLOR.
6. INSULATED STEEL MAN-DOOR AND FRAME. PAINTED TO MATCH WALL COLOR.
7. INSULATED STEEL OVERHEAD DOOR. PRE-FINISHED WHITE.
8. DOCK SEAL AND DOCK LEVELER. TYPICAL AT ALL DOCK DOORS.
9. PRE-CAST CONCRETE PANEL FABRICATED TO ALLOW FOR FUTURE CUT IN OF DOCK DOOR.
10. GALVANIZED STEEL DOCK STAIR WITH GUARDRAIL AND CONCRETE BOLLARDS. SEE DETAIL 11 & 12/A502.
11. PRE-FABRICATED METAL AWNING BY COOL PLANET OR EQUAL. DESIGN INTENT TO MATCH MAPES ILLUMIDECK.
12. PRE-FINISHED METAL COPING. COLOR BY ARCHITECT FROM MANUFACTURER'S FULL RANGE OF COLORS.
13. LINE REPRESENTS APPROXIMATE TOP OF ROOF INSULATION. SHOWN FOR REFERENCE ONLY. COORDINATE WITH STRUCTURAL DRAWINGS FOR JOIST BEARING ELEVATIONS AND SLOPES TO ROOF DRAINS.
14. 1" INSULATED TINTED GLASS IN THERMALLY BROKEN ALUMINUM FRAMING. REFER TO STOREFRONT ELEVATIONS FOR MORE INFORMATION.
15. PRECAST PLANTERS.
16. PAINTED STEEL COLUMN.
17. PRECAST SCREEN WALL.
18. EPS CORNICE APPLIED TO PRECAST. SEE DETAILS X1/XXX.

GENERAL PRECAST PAINT NOTES

- A. CONCRETE TO CURE 30 DAYS PRIOR TO PAINT OR VERIFY PH LEVEL IS BETWEEN 6-8. IF PH IS HIGHER THAN 8, A PRIMER THAT IS TOLERANT OF A HIGH ALKALINE SUBSTRATE IS REQUIRED. VERIFY PRODUCT WITH PAINT MANUFACTURER DATA SHEETS FOR ACCEPTABLE MATERIALS TO MEET THE PH OF THE PANELS. TYPICAL LOXON PRIMERS. PROVIDE REPORT STATING PH LEVEL OF PANEL PRIOR TO PAINT APPLICATION.
- B. PRECASTER TO VERIFY AND CONFIRM TO GENERAL CONTRACTOR THAT ALL BOND BREAKERS HAVE BEEN REMOVED FROM THE FACE OF THE CONCRETE VIA PRESSURE WASHING OR SAND BLASTING. PROCESS IS DEPENDENT ON THE TYPE OF BOND BREAKER USED. PRECASTER TO SUPPLY A LETTER CONFIRMING THAT BOND BREAKER IS REMOVED.
- C. PRIOR TO PAINTING, VERIFY THAT PRECAST CONCRETE MOISTURE LEVEL IS 15% OR LOWER.
- D. ALL ACRYLIC PAINTS TO BE 100% ACRYLIC SHERWIN WILLIAMS A-100, SUPER PAINT OR EQUAL.
- E. ELASTOMERIC PAINTS WILL BE ACCEPTABLE. CONFLX OR SHERLASTIC OR EQUAL. MUST BE APPLIED AT 10 MILS TO 30+ MILS WET. MUST APPLY TWO COATS. VERIFY PH REQUIREMENTS WITH DATA SHEETS.
- F. BASE LINE SPECIFICATION FOR THIS PROJECT:
PRIMER COAT: LOXON SEALER A34V8300
FIRST COAT: SHERWIN WILLIAMS SUPER PAINT
SECOND COAT: SHERWIN WILLIAMS SUPER PAINT

PAINT COLORS

-  SW __ XX
-  SW __ XX
-  SW __ XX
-  SW __ XX



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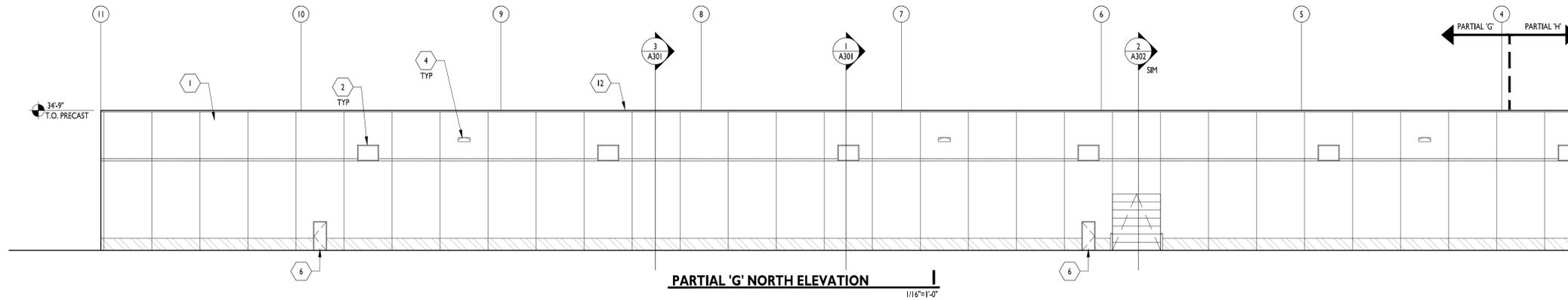
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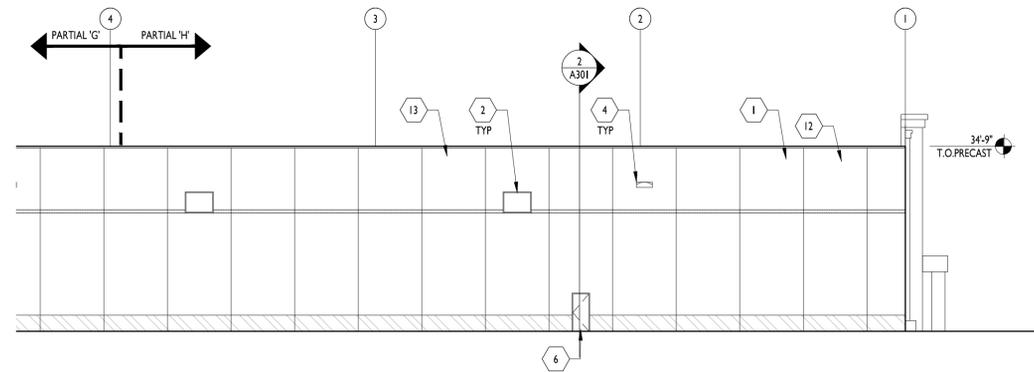
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EXTERIOR ELEVATIONS

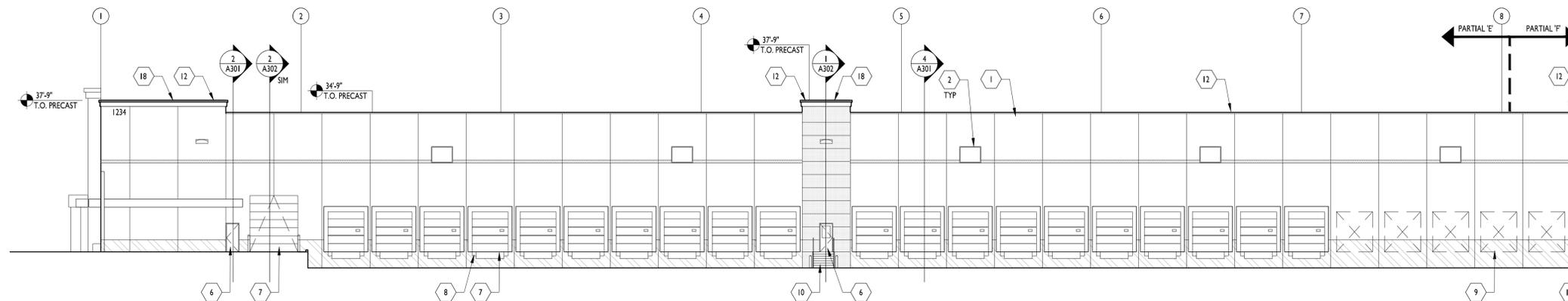
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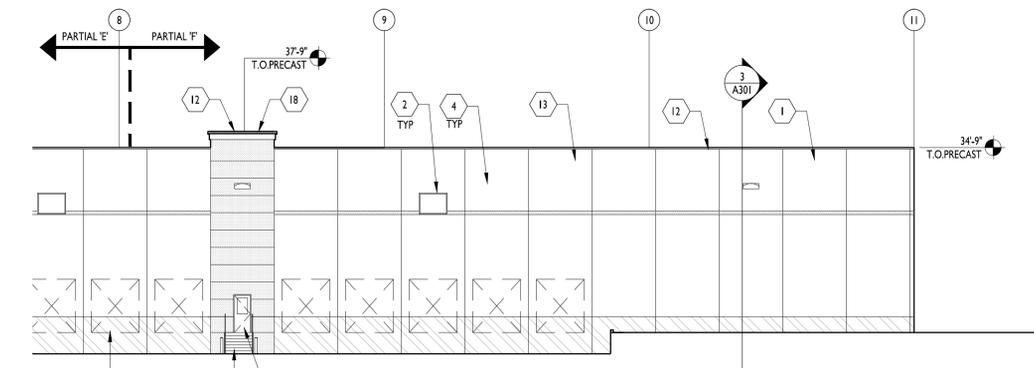
PARTIAL 'G' NORTH ELEVATION
1
1/16"=1'-0"



PARTIAL 'H' NORTH ELEVATION
2
1/16"=1'-0"



PARTIAL 'E' SOUTH ELEVATION
3
1/16"=1'-0"



PARTIAL 'F' SOUTH ELEVATION
4
1/16"=1'-0"

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PAINT COLORS

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-  SW __ XX
-  SW __ XX



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EXTERIOR ELEVATIONS

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LINE OF SIGHT EXHIBIT

A120A

