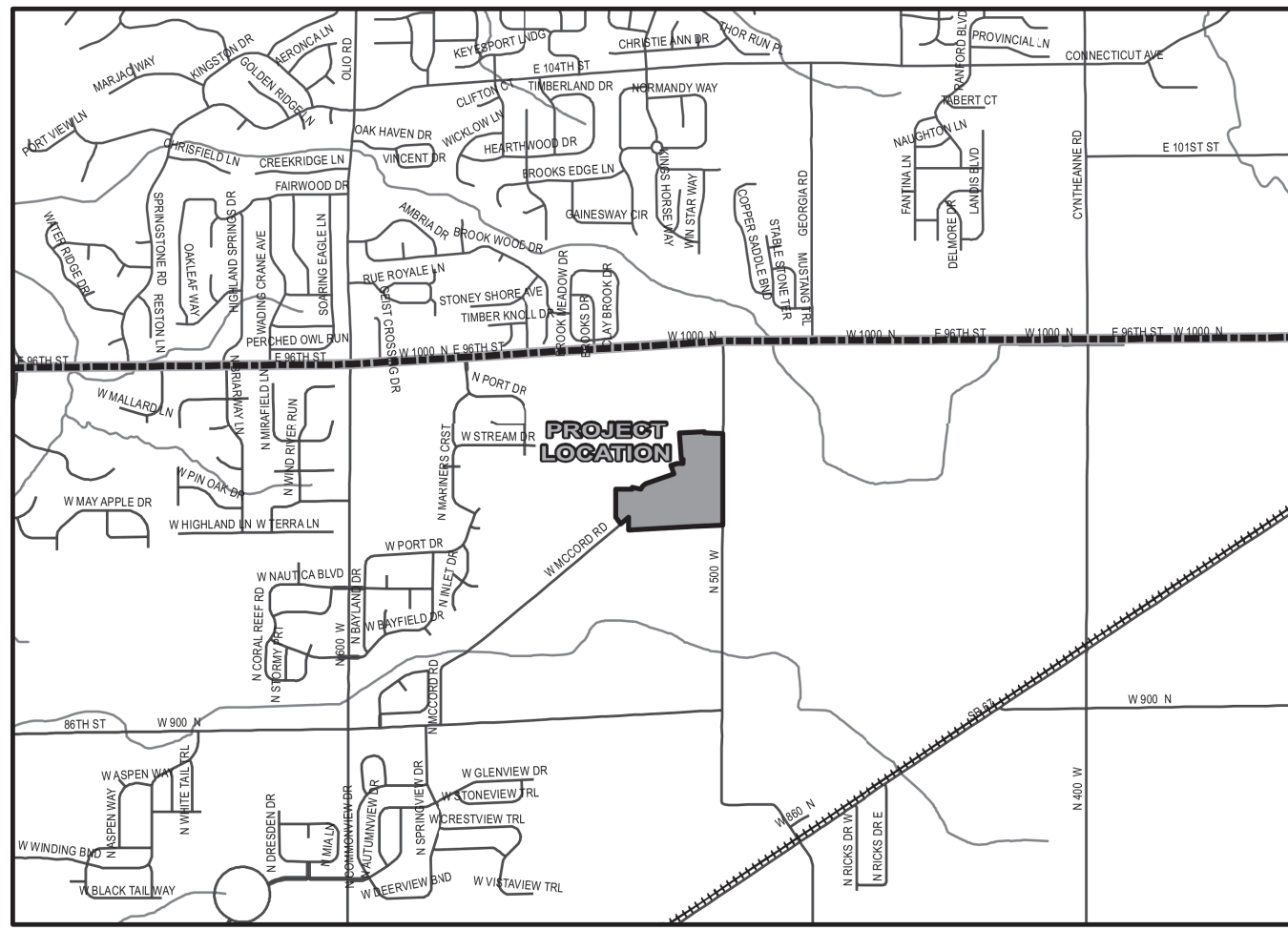


# Lennar Homes of Indiana, Inc.



DEVELOPER:

LENNAR HOMES OF INDIANA, INC.  
BILL BRYANT  
9025 NORTH RIVER ROAD, SUITE 100  
INDIANAPOLIS, INDIANA 46240  
(317) 450-4634

CIVIL ENGINEER and SURVEYOR:

HWC ENGINEERING  
135 N. PENNSYLVANIA ST., SUITE 2800  
INDIANAPOLIS, IN 46204  
(317) 347-3663  
keichhorn@hwcengineering.com

| COMMON AREAS |          |
|--------------|----------|
| C.A.#7-1     | 0.38 AC  |
| C.A.#7-2     | 1.64 AC  |
| C.A.#7-3     | 2.08 AC  |
| C.A.#7-4     | 5.48 AC  |
| C.A.#7-5     | 0.93 AC  |
| TOTAL        | 10.51 AC |

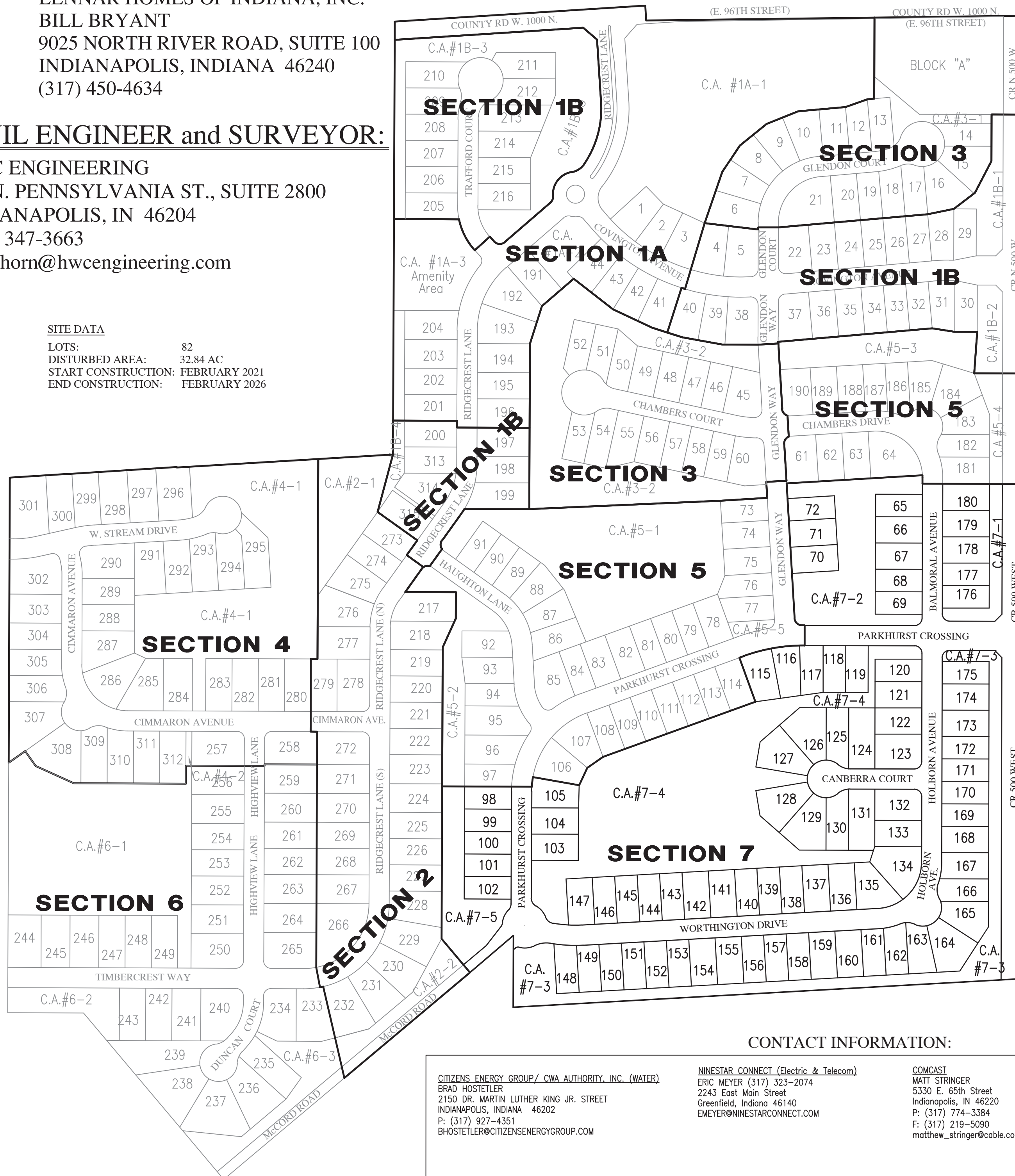
| LINEAR FOOTAGE OF STREETS |          |
|---------------------------|----------|
| CANBERRA COURT            | 282 LF   |
| BALMORAL AVENUE           | 405 LF   |
| HOLBORN AVENUE            | 718 LF   |
| PARKHURST CROSSING        | 948 LF   |
| WORTHINGTON DRIVE         | 1,061 LF |
| TOTAL                     | 3,414 LF |

ZONED McCORD POINTE AMENDED PUD ORDINANCE NO.  
101017B, AN ORDINANCE AMENDING THE TOWN OF  
McCORDSVILLE ZONING ORDINANCE NO. 121410, AS AMENDED.

### DEVELOPMENT STANDARDS

| <u>DEVELOPMENT STANDARDS</u>  | <u>AREA "B"</u>                                   |
|-------------------------------|---------------------------------------------------|
| MAXIMUM NUMBER OF LOTS        | 135                                               |
| MINIMUM LOT AREA              | 9,000 SQ. FT.                                     |
| MINIMUM LOT WIDTH             |                                                   |
| AT BUILDING LINE              | 70                                                |
| MINIMUM FRONT YARD SETBACK    | 25 FEET                                           |
| MINIMUM SIDE YARD SETBACK     | 7.5 FEET                                          |
| MINIMUM REAR YARD SETBACK     | 25 FEET                                           |
| MINIMUM LIVABLE FLOOR AREA    | 1,300 SF (SINGLE STORY)<br>1,800 SF (MULTI STORY) |
| MIN. GROUND FLOOR LIVING AREA | 900 SF (MULTI STORY)                              |
| MAXIMUM LOT COVERAGE          | 40%                                               |
| MAXIMUM HEIGHT - PRINCIPAL    | 35 FEET                                           |

|                               |       |
|-------------------------------|-------|
| PLAN COMMISSION APPROVAL      | _____ |
| DRAINAGE APPROVAL             | _____ |
| ADDRESS APPROVAL              | _____ |
| EROSION CONTROL APPROVAL      | _____ |
| COUNTY ENGINEER APPROVAL      | _____ |
| COUNTY SANITARIAN APPROVAL    | _____ |
| COUNTY COMMISSIONERS APPROVAL | _____ |



CONTACT INFORMATION:

|                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                           |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><u>CITIZENS ENERGY GROUP / CWA AUTHORITY, INC. (WATER)</u><br/> <u>BROAD HOSTETLER</u><br/>         2150 DR. MARTIN LUTHER KING JR. STREET<br/>         INDIANAPOLIS, INDIANA 46022<br/>         P: (317) 927-4351<br/>         BHOSTETLER@CITIZENSENERGYGROUP.COM</p> | <p><u>WINESTAR CONNECT (Electric &amp; Telecom)</u><br/>         ERIC MEYER (317) 323-2074<br/>         2243 East Main Street<br/>         Greentfield, Indiana 46140<br/>         MCMYER@WINESTARCONNECT.COM</p>                      | <p><u>COMCAST</u><br/>         MATT STRINGER<br/>         5330 E. 65th Street<br/>         Indianapolis, IN 46220<br/>         P: (317) 774-3384<br/>         F: (317) 219-5090<br/>         matthew_stringer@cable.comcast.com</p> | <p><u>VECTREN</u><br/>         SANDRA CASEY<br/>         16800 Allison Road<br/>         Noblesville, Indiana 46061<br/>         P: (317) 776-5532<br/>         F: (317) 776-5553<br/>         Mailing Address: P.O. Box 1700<br/>         Noblesville, Indiana 46061<br/>         sandra.casey@centerpointenergy.com</p> |
| <p><u>MCCORDSVILLE FIRE DEPARTMENT</u><br/>         7580 N Farm Street<br/>         McCordsville, Indiana 46055<br/>         P: (317) 335-9236</p>                                                                                                                        | <p><u>TOWN OF MCCORDSVILLE</u><br/> <u>ENGINEERING AND BUILDING DEPT</u><br/>         RYAN CRUM<br/>         6280 W 800 N<br/>         McCordsville, Indiana 46055<br/>         P: (317) 335-3604<br/>         rcrum@mccordova.org</p> | <p><u>TOWN OF MCCORDSVILLE</u><br/> <u>PLANNING DEPARTMENT</u><br/>         MARK WITSMAN<br/>         6280 W 800 N<br/>         McCordsville, IN 46055<br/>         P: (317) 335-3604<br/>         mwitsman@mccordova.org</p>       | <p><u>TOWN OF MCCORDSVILLE</u><br/> <u>PUBLIC WORKS</u><br/>         RON CRIDER<br/>         6280 W 800 N<br/>         McCordsville, IN 46055<br/>         P: (317) 335-3493<br/>         rcriders@mccordova.org</p>                                                                                                      |



### SOILS LEGEND

|     |                                         |
|-----|-----------------------------------------|
| BR  | BROOKSTON SILTY CLAY LOAM               |
| CRA | CROSBY SILT LOAM, 0 TO 3 PERCENT SLOPES |

## SHEET LIST TABLE

| Sheet Title | Sheet Description                                                  |
|-------------|--------------------------------------------------------------------|
| C1.0        | COVER                                                              |
| T1.1-T1.2   | EXISTING CONDITIONS PLAN                                           |
| C1.1-C1.2   | DEVELOPMENT PLAN                                                   |
| C1.3-C1.4   | PRE-CONSTRUCTION STORMWATER POLLUTION PREVENTION & DEMOLITION PLAN |
| C1.5-C1.6   | POST CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN             |
| C1.7-C1.8   | EMERGENCY FLOOD ROUTE PLAN                                         |
| C1.9        | MASTER UTILITY PLAN                                                |
| C1.10-C1.11 | SUBSURFACE DRAIN PLAN                                              |
| C2.0-C2.3   | STREET PLAN & PROFILE                                              |
| C3.0-C3.1   | INTERSECTION & CUL-DE-SAC DETAILS                                  |
| C3.2        | TRAFFIC CONTROL AND LIGHTING PLAN                                  |
| C4.0-C4.2   | SANITARY SEWER PLAN & PROFILE                                      |
| C6.0-C6.4   | STORM SEWER PLAN & PROFILE                                         |
| C7.0-C7.1   | WATER DISTRIBUTION PLAN                                            |
| C8.0        | STORMWATER POLLUTION PREVENTION NOTES                              |
| C8.1-C8.4   | STORMWATER POLLUTION PREVENTION DETAILS                            |
| C8.5        | CONSTRUCTION DETAILS                                               |
| C8.6        | CITIZENS WATER DETAILS                                             |
| L1.0-L1.1   | LANDSCAPE PLAN                                                     |
| L1.2        | LANDSCAPE DETAILS                                                  |

## McCORDSVILLE TOWN STANDARDS

## SHEET LIST TABLE

| Sheet Title | Sheet Description                                  |
|-------------|----------------------------------------------------|
| 1           | DIRECTIONS FOR USE & GENERAL NOTES                 |
| 2           | RIGHT-OF-WAY SECTIONS & PAVEMENT SPECIFICATIONS    |
| 3           | RIGHT-OF-WAY DETAILS                               |
| 4           | UTILITY LOCATION GUIDELINES                        |
| 5           | DRIVE WAY & HANDICAP RAMP DETAILS                  |
| 6           | STORM SEWER STRUCTURE DETAILS                      |
| 7           | STORM SEWER BEDDING DETAILS AND GENERAL NOTES      |
| 8           | SANITARY SEWER SPECIFICATIONS                      |
| 9           | SANITARY SEWER DETAILS                             |
| 10          | SANITARY SEWER LIFT STATION STANDARDS & GUIDELINES |

## REVISIONS

| DATE | DESCRIPTION               | BY  |
|------|---------------------------|-----|
| 5/21 | REVISED PER<br>TAC REVIEW | HWC |
|      |                           |     |
|      |                           |     |
|      |                           |     |
|      |                           |     |



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MCCORDSVILLE, INDIANA

COVER SHEET



|                       |                          |
|-----------------------|--------------------------|
| DRAWN BY<br>TS        | JOB NUMBER<br>2019-263-G |
| CHECKED BY<br>KE      |                          |
| DATE<br>NOVEMBER 2020 |                          |
| SCALE                 |                          |
| AS SHOWN              |                          |
| SHEET                 |                          |

# C1.0

## COVER SHEET

Plot Date: Jan 05, 2021 Plot Time: 3:04pm File Name: W:\CalAtlantic\Homes\2019-263-G Lennar- McCord Pointe Sec 7\Design\CAD\1926366.Development Plan.dwg, Layout: C1.1 By: keithhorn

### BENCHMARK INFORMATION:

CUT SQUARE ON BACK OF CURB AT INTERSECTION OF NORTH ANCHOR BEND AND NORTH MARINERS CREST. SQUARE IS AT THE NORTH EAST PORTION OF INTERSECTION 3' WEST OF A FIRE HYDRANT. ELEVATION = 847.28 (NGVD 29)

### LEGEND:

#### EXISTING

|                   |         |
|-------------------|---------|
| RIGHT-OF-WAY LINE | ---X--- |
| EASEMENT LINE     | ---     |
| SETBACK LINE      | ---     |
| CENTERLINE        | ---     |
| SWALE / FLOWLINE  | ---     |
| SUBSURFACE DRAIN  | ---     |
| SANITARY SEWER    | ---     |
| STORM SEWER       | ---     |
| STORM CULVERT     | ---     |
| WATER MAIN        | ---     |
| CONTOUR, MAJOR    | ---     |
| CONTOUR, MINOR    | ---     |
| FENCE             | ---     |
| TREE LINE         | ---     |
| SANITARY MANHOLE  | ---     |
| STORM MANHOLE     | ---     |
| STORM INLET       | ---     |
| STORM END SECTION | ---     |
| FIRE HYDRANT      | ---     |
| STREET LIGHT      | ---     |

#### PROPOSED

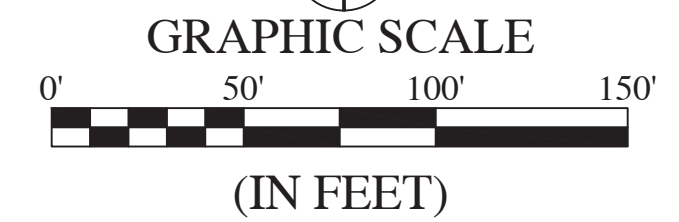
|     |                      |     |
|-----|----------------------|-----|
| N/A | FLOW ARROW           | --- |
| N/A | SPOT ELEVATION       | --- |
| N/A | PAVEMENT ELEVATION   | --- |
| N/A | A.D.A. HANDICAP RAMP | --- |
| N/A | 2" ROLL CURB         | --- |
| N/A | SSD CLEANOUT         | --- |
| N/A | SANITARY CLEANOUT    | --- |
| N/A | EMERGENCY OVERFLOW   | --- |
| N/A | WEIR CROSS-SECTION   | --- |

### ABBREVIATIONS:

|     |                                  |             |                                                 |
|-----|----------------------------------|-------------|-------------------------------------------------|
| BC  | - BACK OF CURB                   | TB          | - TOP OF BANK GRADE                             |
| CL  | - CENTERLINE                     | TC          | - TOP OF CASTING GRADE                          |
| FG  | - FINISHED GRADE                 | PAD         | - PAD GRADE                                     |
| FL  | - FLOW LINE                      | MFGP        | - MINIMUM FLOOD PROTECTION GRADE                |
| HP  | - HIGH POINT                     | MFFE        | - MINIMUM FINISH FLOOR ELEVATION                |
| INV | - INVERT ELEVATION               | TW          | - TOP OF WALL                                   |
| LP  | - LOW POINT                      | IE          | - INGRESS / EGRESS EASEMENT                     |
| ME  | - MATCH EXISTING GRADE           | 25          | - LOT NUMBER                                    |
| NP  | - NORMAL POOL (ELEVATION)        | C.A.        | - COMMON AREA                                   |
| PC  | - POINT OF CURVATURE             | D.E.        | - DRAINAGE EASEMENT                             |
| PRC | - POINT OF REVERSE CURVATURE     | S.S.D.&U.E. | - SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT |
| PT  | - POINT OF TANGENCY              | D.&U.E.     | - DRAINAGE AND UTILITY EASEMENT                 |
| PVC | - POLYVINYL CHLORIDE PIPE        | ESMT        | - EASEMENT                                      |
| PVI | - POINT OF VERTICAL INTERSECTION | B.S.L.      | - BUILDING SETBACK LINE                         |
| RCP | - REINFORCED CONCRETE PIPE       | R/W         | - RIGHT-OF-WAY                                  |



Call 811 or 800-382-5544 Before you Dig!



OR 500 WEST TO BE WIDENED 2' WEST ALONG THE ENTIRE EAST BOUNDARY OF SECTION 7.

FOR CONTINUATION SEE SHEET C1.2

### EXISTING MCCORD POINTE SECTION 5

EX. WETLAND DO NOT DISTURB

C.A.#7-4 VAR. D.E.&U.E.

LAKE #3 N.P. = 848.10 10 YEAR ELEV. = 849.64 100 YEAR ELEV. = 851.81 BOTTOM ELEV. = 838.10

C.A.#7-4 VAR. D.E.&U.E.

C.A.#7-5 VAR. D.E.&U.E.

C.A.#7-3 VAR. D.E.&U.E.

C.A.#7-4 VAR. D.E.&U.E.

C.A.#7-4 VAR. D.E.&U.E.

C.A.#7-4 VAR. D.E.&U.E.

C.A.#7-4 VAR. D.E.&U.E.

C.A.#7-4 VAR. D.E.&U.E.

C.A.#7-4 VAR. D.E.&U.E.

C.A.#7-4 VAR. D.E.&U.E.

C.A.#7-4 VAR. D.E.&U.E.

C.A.#7-4 VAR. D.E.&U.E.

C.A.#7-4 VAR. D.E.&U.E.

C.A.#7-4 VAR. D.E.&U.E.

C.A.#7-4 VAR. D.E.&U.E.

C.A.#7-4 VAR. D.E.&U.E.

C.A.#7-4 VAR. D.E.&U.E.

### REVISIONS

| DATE   | DESCRIPTION            | BY  |
|--------|------------------------|-----|
| 1/5/21 | REVISED PER TAC REVIEW | HWC |



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### MCCORD POINTE SECTION 7 MCCORDSVILLE, INDIANA

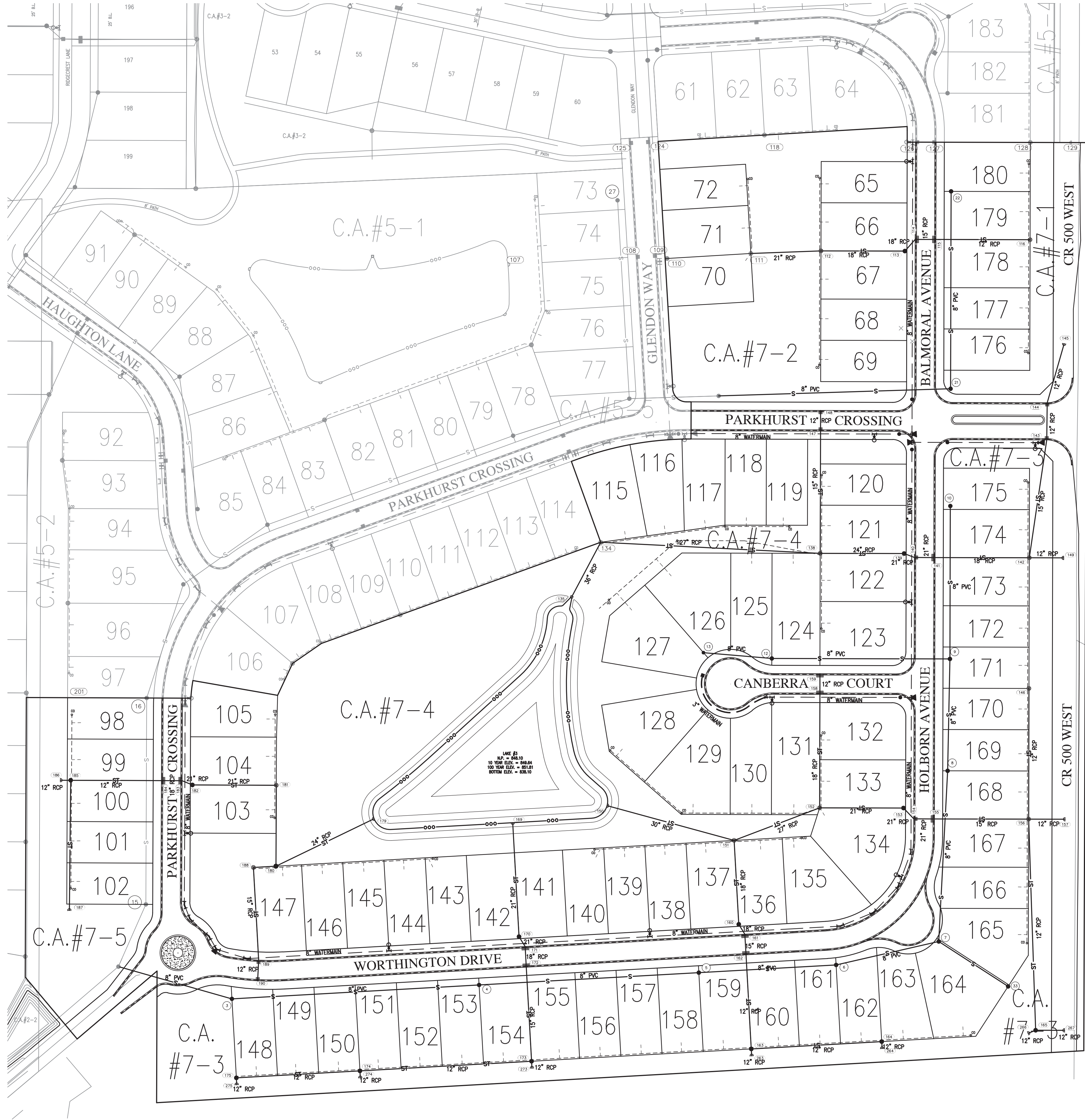
### DEVELOPMENT PLAN

PROFESSIONAL ENGINEER  
No. 11400758  
NOTARY PUBLIC  
STATE OF INDIANA  
Kirsten K. Keithhorn

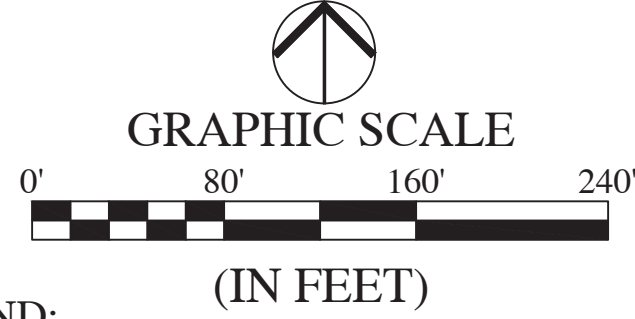
DRAWN BY TS  
CHECKED BY KE  
DATE NOVEMBER 2020  
SCALE AS SHOWN  
SHEET

C1.1  
DEVELOPMENT PLAN





Call 811 or 800-382-5544 Before you Dig!



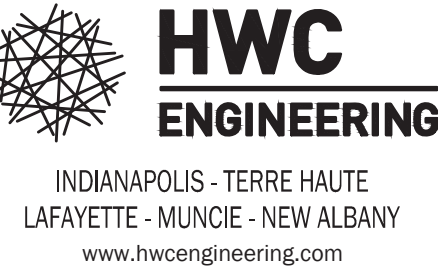
| LEGEND:  |                                                                  |
|----------|------------------------------------------------------------------|
| EXISTING | PROPOSED                                                         |
| ---      | RIGHT-OF-WAY LINE                                                |
| ---      | EASEMENT LINE                                                    |
| ---      | SETBACK LINE                                                     |
| ---      | CENTERLINE                                                       |
| ---      | SWALE / FLOWLINE                                                 |
| ---      | SUBSURFACE DRAIN                                                 |
| ---      | SANITARY SEWER                                                   |
| ---      | STORM SEWER                                                      |
| ---      | STORM CULVERT                                                    |
| ---      | WATER MAIN                                                       |
| ---      | CONTOUR, MAJOR                                                   |
| ---      | CONTOUR, MINOR                                                   |
| ---      | FENCE                                                            |
| ---      | TREE LINE                                                        |
| ---      | SANITARY MANHOLE                                                 |
| ---      | STORM MANHOLE                                                    |
| ---      | STORM INLET                                                      |
| ---      | STORM END SECTION                                                |
| ---      | FIRE HYDRANT                                                     |
| ---      | STREET LIGHT                                                     |
| ---      | FLOW ARROW                                                       |
| ---      | SPOT ELEVATION                                                   |
| ---      | PAVEMENT ELEVATION                                               |
| ---      | A.D.A. HANDICAP RAMP                                             |
| ---      | 2' ROLL CURB                                                     |
| ---      | POND SIGNAGE                                                     |
| ---      | 4 FT CONC. APRON<br>(SEE CONCRETE SECTION - SHEET C3.2)          |
| ---      | 20' SAFETY RAMP @ 6:1 SLOPE<br>(CONSTRUCTED WITH COMPACTED CLAY) |
| ---      | 2' ROLL CURB (REVERSE SLOPE)                                     |
| ---      | SSD CLEANOUT                                                     |
| ---      | SANITARY CLEANOUT                                                |

**BENCHMARK INFORMATION:**

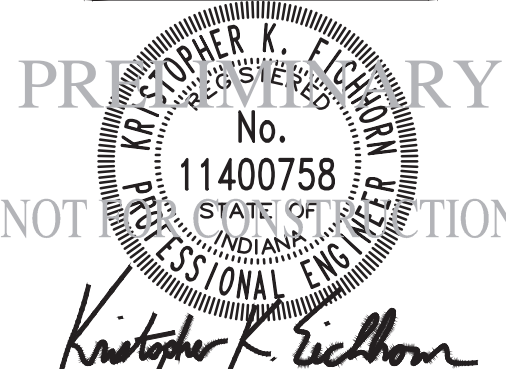
CUT SQUARE ON BACK OF CURB AT INTERSECTION OF NORTH ANCHOR BEND AND NORTH MARINERS CREST.  
SQUARE IS AT THE NORTH EAST PORTION OF INTERSECTION  
3' WEST OF A FIRE HYDRANT.  
ELEVATION = 847.28 (NGVD 29)

**REVISIONS**

| DATE   | DESCRIPTION            | BY  |
|--------|------------------------|-----|
| 1/5/21 | REVISED PER TAC REVIEW | HWC |
|        |                        |     |
|        |                        |     |
|        |                        |     |
|        |                        |     |
|        |                        |     |
|        |                        |     |
|        |                        |     |



**MCCORD POINTE SECTION 7  
MCCORDSVILLE, INDIANA  
MASTER UTILITY PLAN**

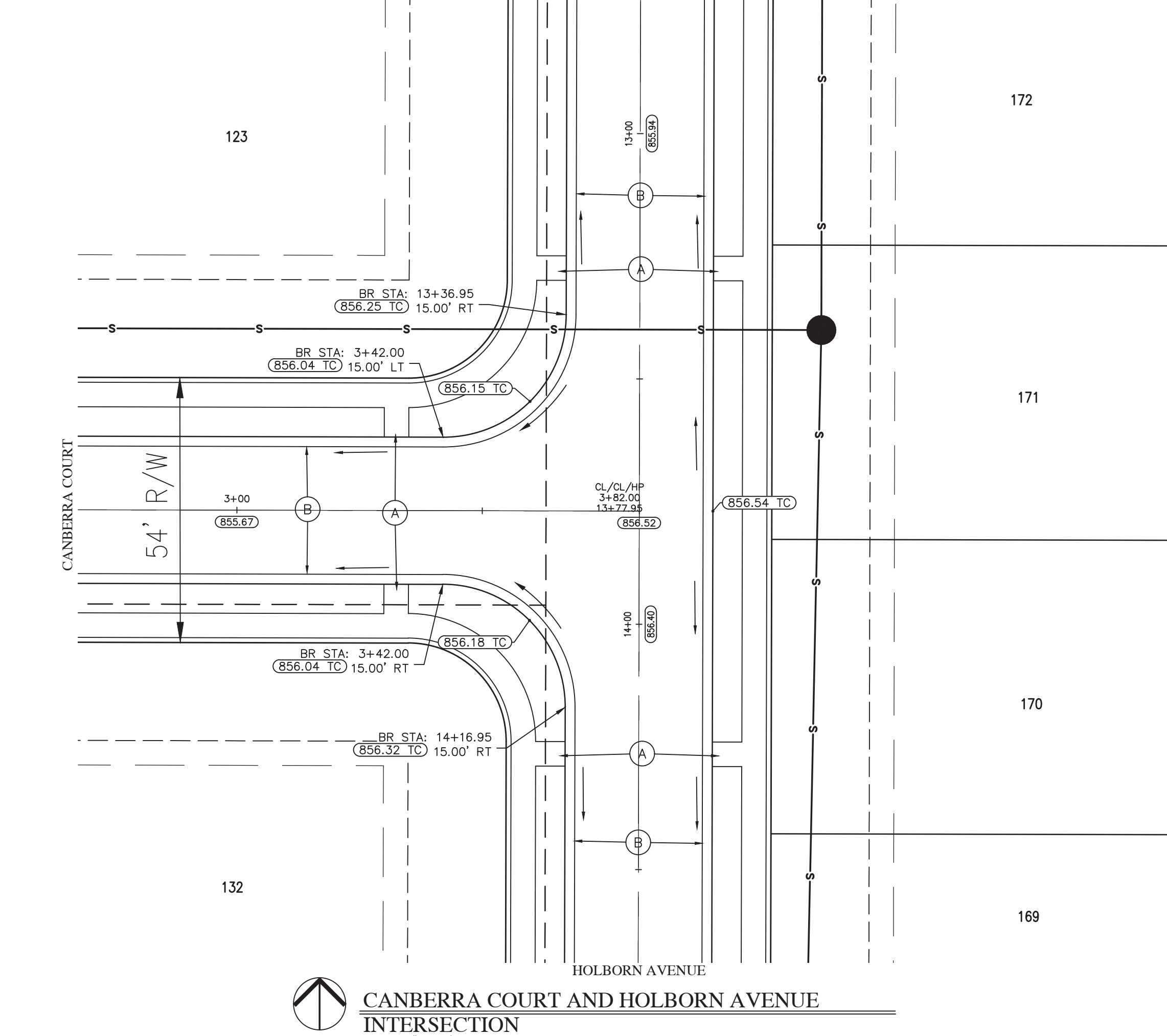
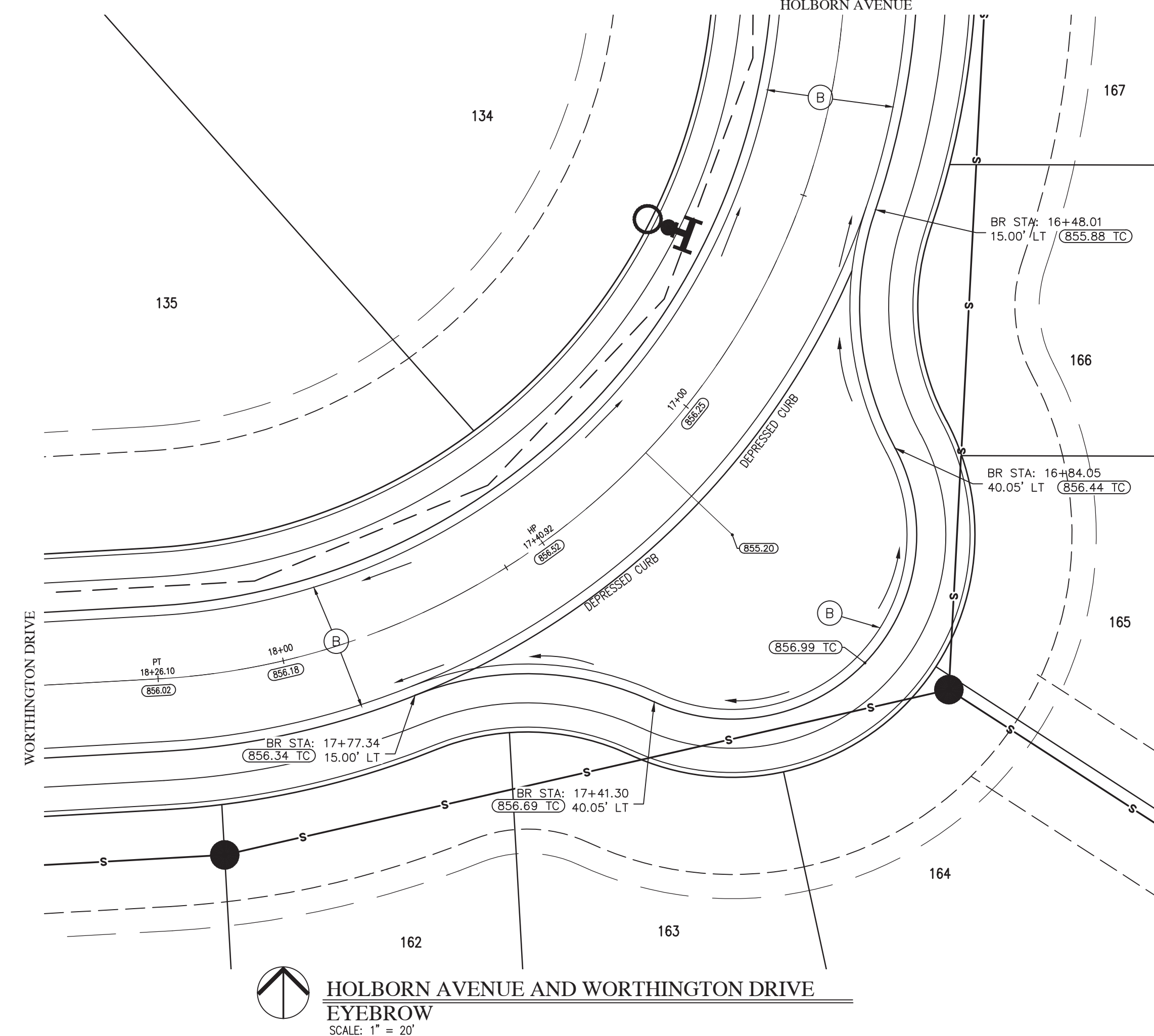
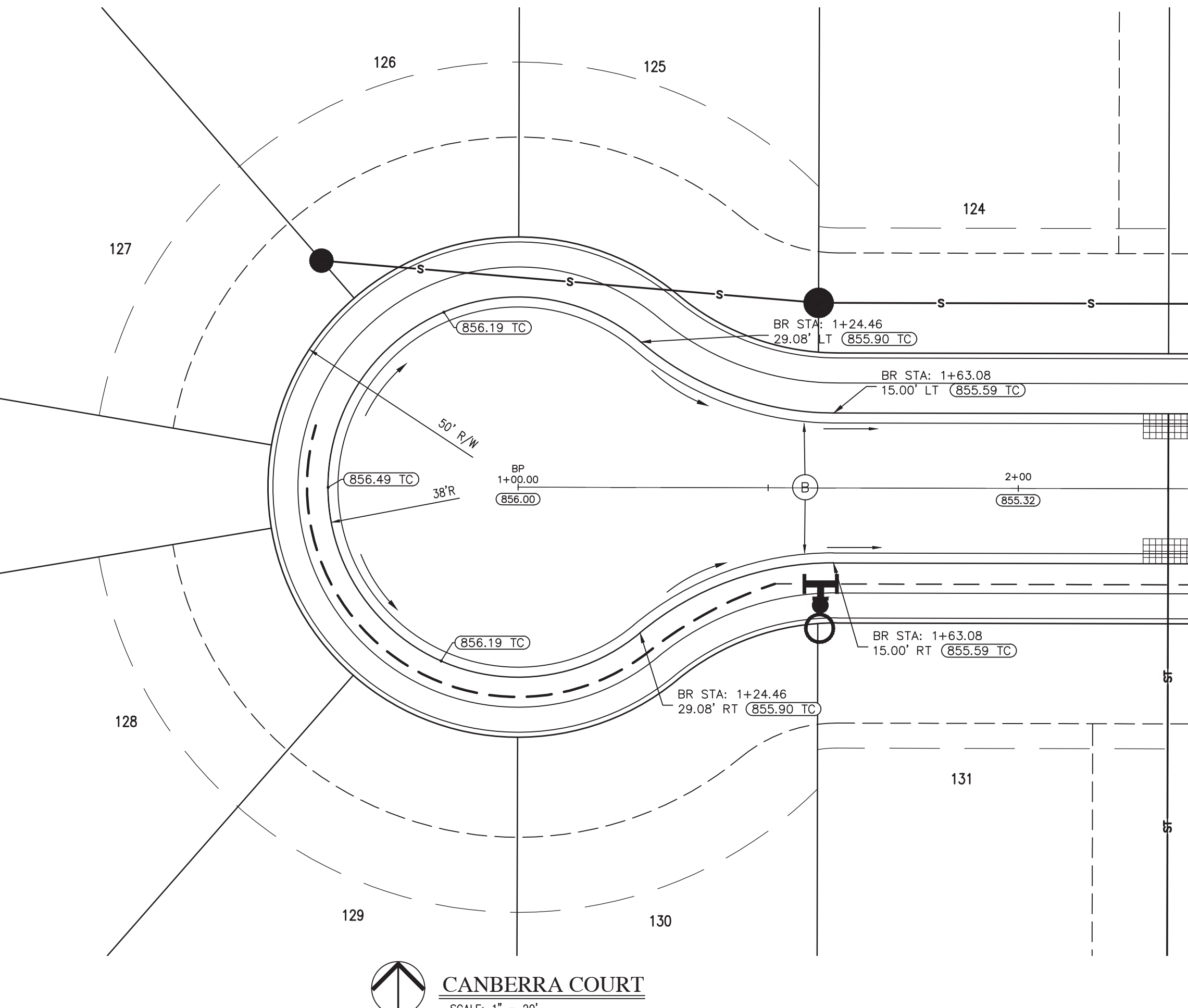
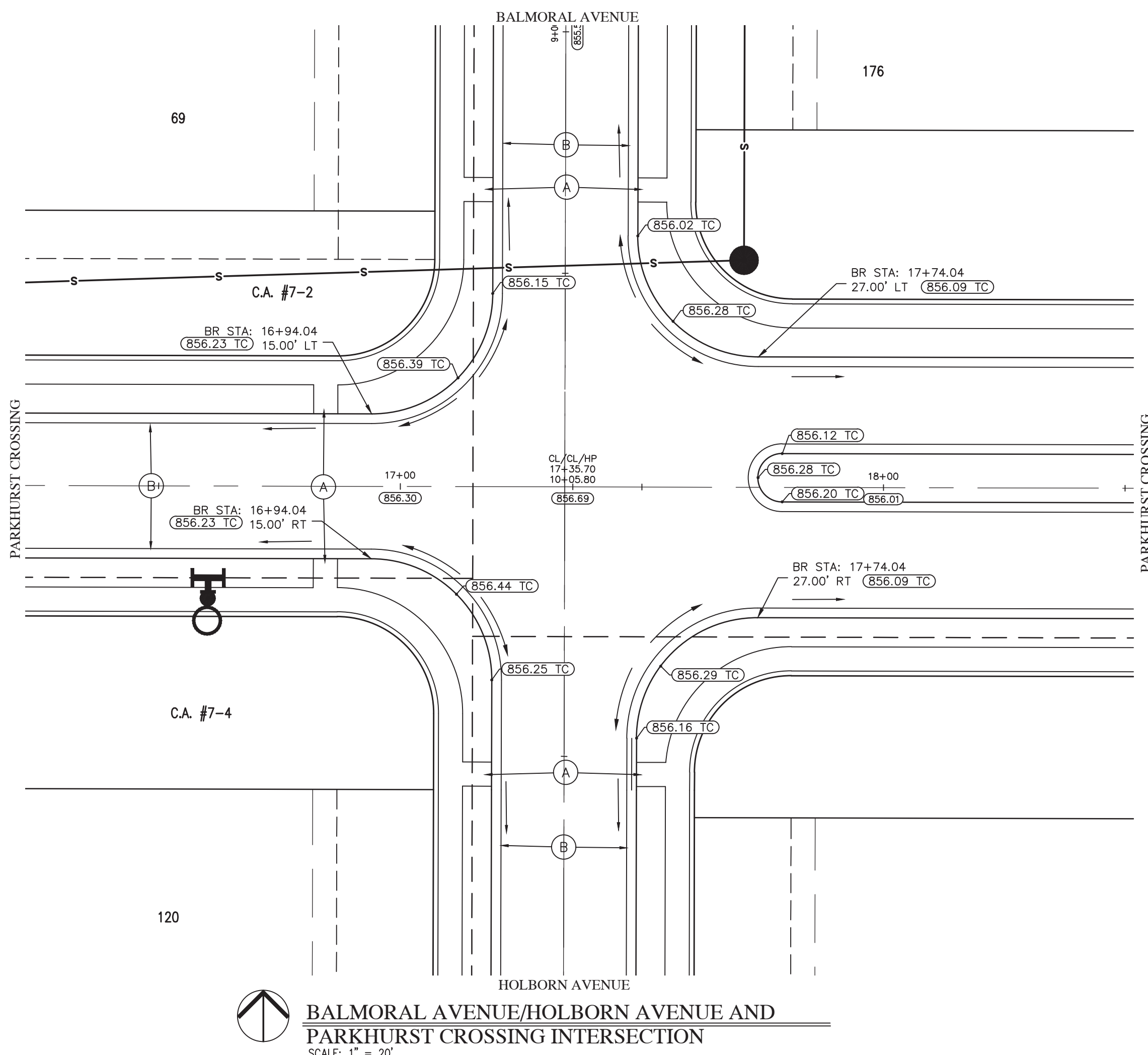


|                       |                          |
|-----------------------|--------------------------|
| DRAWN BY<br>TS        | JOB NUMBER<br>2019-263-G |
| CHECKED BY<br>KE      |                          |
| DATE<br>NOVEMBER 2020 |                          |
| SCALE<br>AS SHOWN     |                          |
| SHEET                 |                          |

**C1.9**

MASTER UTILITY PLAN

Plot Date: Jan 05, 2021 Plot Time: 3:17pm File Name: W:\CalAtlantic Homes\2019-263-G Lennar- McCord Pointe Sec 7\Design\CAD\19263G Intersection Plan.dwg Layout: C3.0 By: keithorn



**Indiana 811**  
KNOW WHAT'S BELOW.  
CALL BEFORE YOU DIG.  
Call 811 or 800-382-5544 Before you Dig!

GRAPHIC SCALE  
0' 20' 40' 60'  
(IN FEET)

**LEGEND:**

| PROPOSED            | EXISTING            |
|---------------------|---------------------|
| RIGHT-OF-WAY LINE   | RIGHT-OF-WAY LINE   |
| EASEMENT LINE       | EASEMENT LINE       |
| SETBACK LINE        | SETBACK LINE        |
| CENTERLINE          | CENTERLINE          |
| SWALE / FLOWLINE    | SWALE / FLOWLINE    |
| SUBSURFACE DRAIN    | SUBSURFACE DRAIN    |
| SANITARY SEWER      | SANITARY SEWER      |
| STORM SEWER         | STORM SEWER         |
| STORM CULVERT       | STORM CULVERT       |
| WATER MAIN          | WATER MAIN          |
| SANITARY MANHOLE    | SANITARY MANHOLE    |
| STORM MANHOLE       | STORM MANHOLE       |
| STORM INLET         | STORM INLET         |
| STORM END SECTION   | STORM END SECTION   |
| FIRE HYDRANT        | FIRE HYDRANT        |
| FLOW ARROW          | FLOW ARROW          |
| SPOT ELEVATION      | SPOT ELEVATION      |
| PAVEMENT ELEVATION  | PAVEMENT ELEVATION  |
| A.D.A HANDICAP RAMP | A.D.A HANDICAP RAMP |
| 2' ROLL CURB        | 2' ROLL CURB        |

**ABBREVIATIONS:**

|     |                                    |
|-----|------------------------------------|
| BR  | - BEGIN RADIUS                     |
| CL  | - CENTERLINE                       |
| GUT | - GUTTER GRADE                     |
| HP  | - HIGH POINT                       |
| LP  | - LOW POINT                        |
| ME  | - MATCH EXISTING GRADE             |
| PC  | - POINT OF CURVATURE               |
| PT  | - POINT OF TANGENCY                |
| PVI | - POINT OF VERTICAL INTERSECTION   |
| R   | - RADIUS                           |
| TC  | - TOP OF CURB/TOP OF CASTING GRADE |

**BENCHMARK INFORMATION:**  
CUT SQUARE ON BACK OF CURB AT INTERSECTION OF NORTH ANCHOR BEND AND NORTH MARINERS CREST. SQUARE IS AT THE NORTH EAST PORTION OF INTERSECTION 3' WEST OF A FIRE HYDRANT. ELEVATION = 847.28 (NGVD 29)

| REVISIONS |                        |     |
|-----------|------------------------|-----|
| DATE      | DESCRIPTION            | BY  |
| 1/5/21    | REVISED PER TAC REVIEW | HWC |
|           |                        |     |
|           |                        |     |
|           |                        |     |
|           |                        |     |
|           |                        |     |

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**MCCORD POINTE SECTION 7  
MCCORDSVILLE, INDIANA  
INTERSECTION DETAILS**

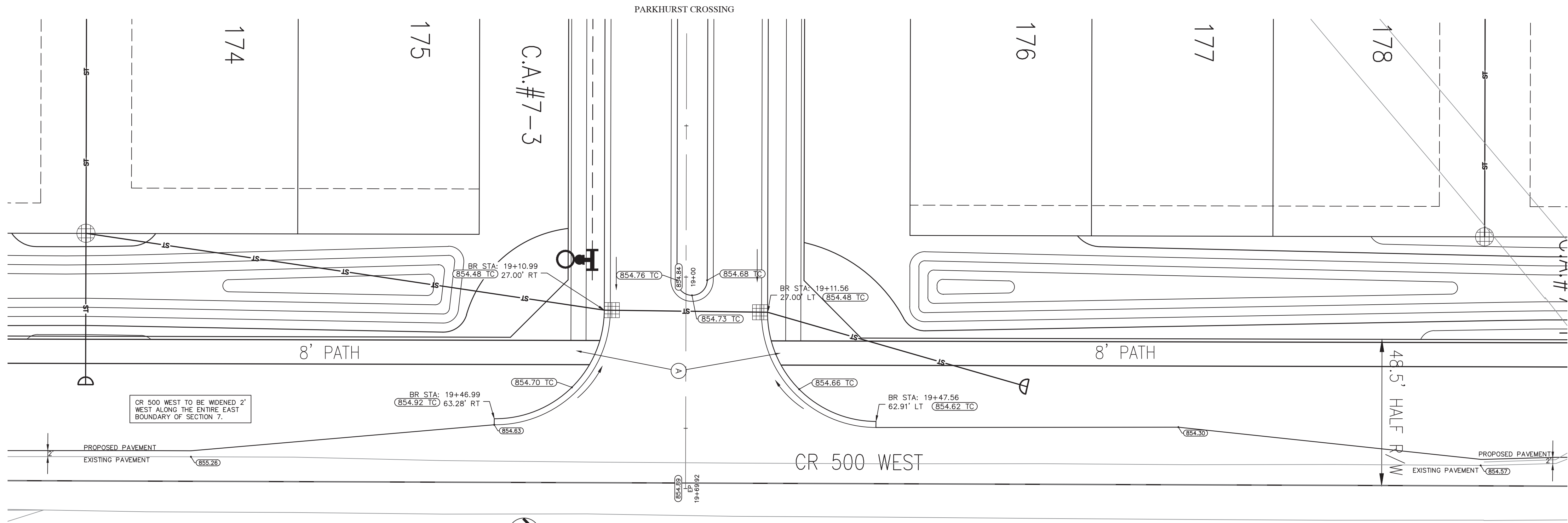
**PROFESSIONAL ENGINEER**  
No. 11400758  
STATE OF INDIANA  
K. Keithorn

DRAWN BY TS  
CHECKED BY KE  
DATE NOVEMBER 2020  
SCALE AS SHOWN  
SHEET

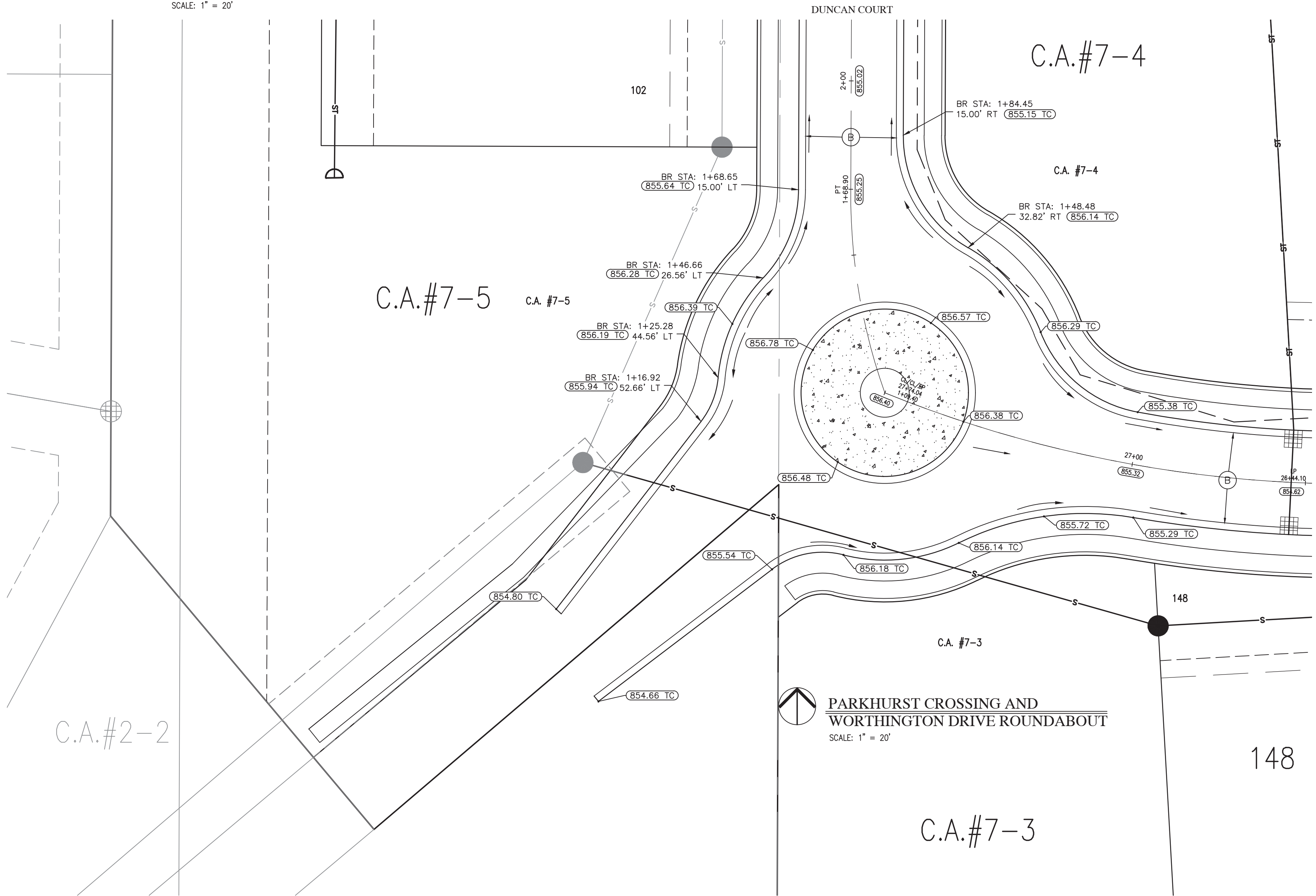
**C3.0**  
INTERSECTION DETAILS

JOB NUMBER 2019-263-G  
© 2020

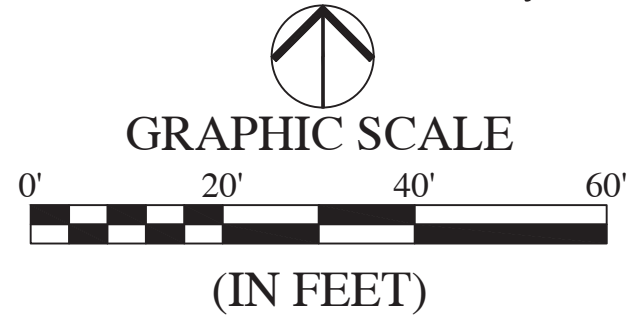
Plot Date: Jan 05, 2021 Plot Time: 3:17pm File Name: W:\CalAtlantic Homes\2019-263-G Lennar- McCord Pointe- McCord Pointe Sec 7\Design\CAD\19263G Intersection Plan.dwg Layout: C3.1 By: Keithhorn



CR 500 WEST AND PARKHURST CROSSING  
ENTRANCE DETAIL  
SCALE: 1" = 20'



PARKHURST CROSSING AND  
WORTHINGTON DRIVE ROUNDABOUT  
SCALE: 1" = 20'



LEGEND:

| PROPOSED            |        |
|---------------------|--------|
| RIGHT-OF-WAY LINE   | ---    |
| EASEMENT LINE       | ---    |
| SETBACK LINE        | ---    |
| CENTERLINE          | ---    |
| SWALE / FLOWLINE    | ---    |
| SUBSURFACE DRAIN    | ---    |
| SANITARY SEWER      | S      |
| STORM SEWER         | ST     |
| STORM CULVERT       | ST     |
| WATER MAIN          | W      |
| SANITARY MANHOLE    | XXX    |
| STORM MANHOLE       | XXXX   |
| STORM INLET         | XXXX   |
| STORM END SECTION   | XXXX   |
| FIRE HYDRANT        | XXX    |
| FLOW ARROW          | ---    |
| SPOT ELEVATION      | XXX.X  |
| PAVEMENT ELEVATION  | XXX.XX |
| A.D.A HANDICAP RAMP | A      |
| 2' ROLL CURB        | B      |

ABBREVIATIONS:

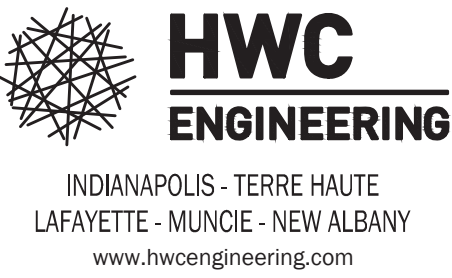
|     |                                    |
|-----|------------------------------------|
| BR  | - BEGIN RADIUS                     |
| CL  | - CENTERLINE                       |
| GUT | - GUTTER GRADE                     |
| HP  | - HIGH POINT                       |
| LP  | - LOW POINT                        |
| ME  | - MATCH EXISTING GRADE             |
| PC  | - POINT OF CURVATURE               |
| PT  | - POINT OF TANGENCY                |
| PVI | - POINT OF VERTICAL INTERSECTION   |
| R   | - RADIUS                           |
| TC  | - TOP OF CURB/TOP OF CASTING GRADE |

BENCHMARK INFORMATION:

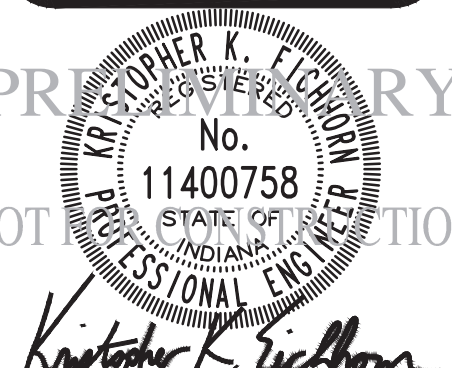
CUT SQUARE ON BACK OF CURB AT INTERSECTION OF NORTH ANCHOR BEND AND NORTH MARINERS CREST. SQUARE IS AT THE NORTH EAST PORTION OF INTERSECTION 3' WEST OF A FIRE HYDRANT.  
ELEVATION = 847.28 (NGVD 29)

REVISIONS

| DATE   | DESCRIPTION            | BY  |
|--------|------------------------|-----|
| 1/5/21 | REVISED PER TAC REVIEW | HWC |
|        |                        |     |
|        |                        |     |
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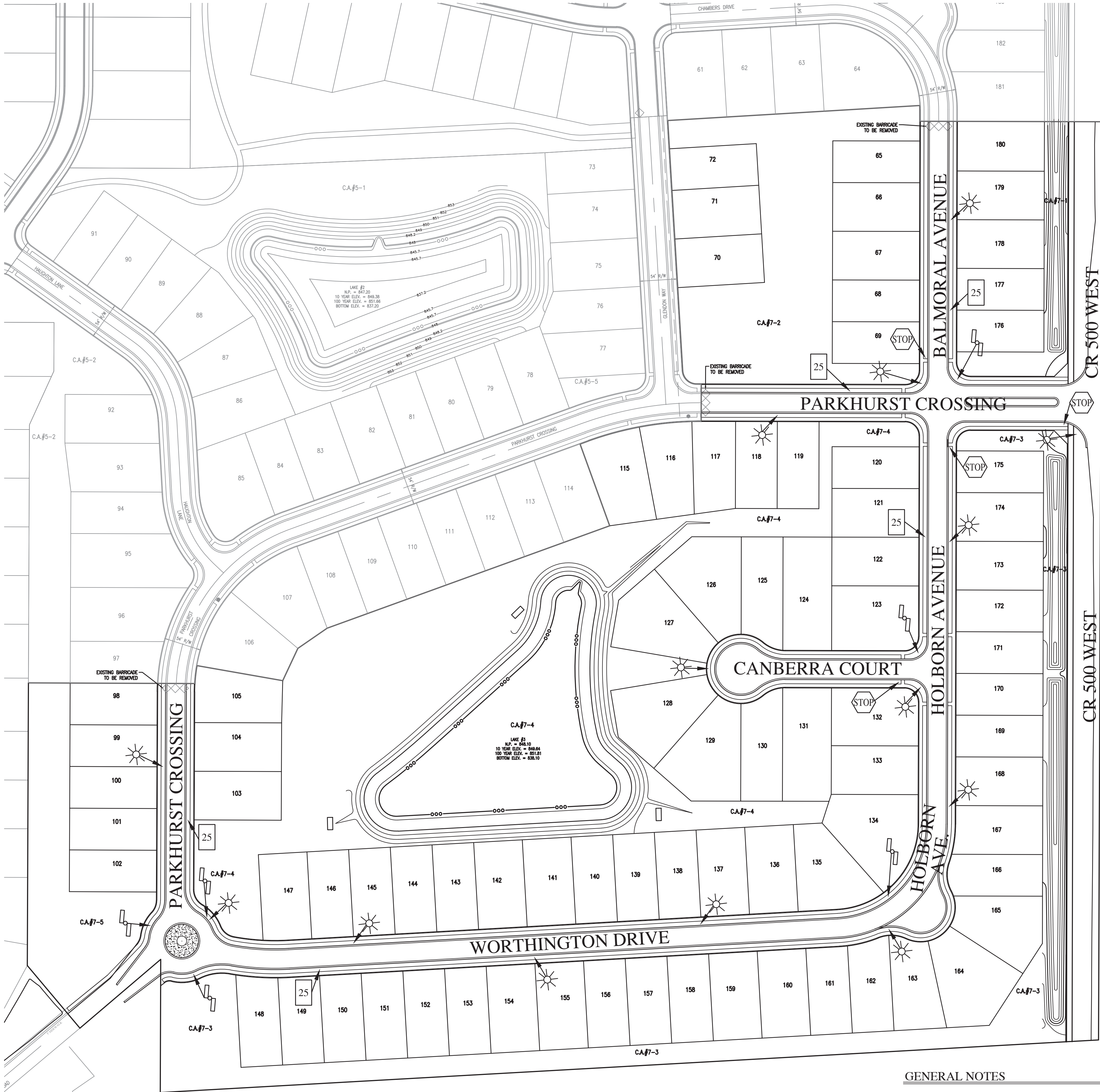
MCCORD POINTE SECTION 7  
MCCORDSVILLE, INDIANA  
INTERSECTION DETAILS



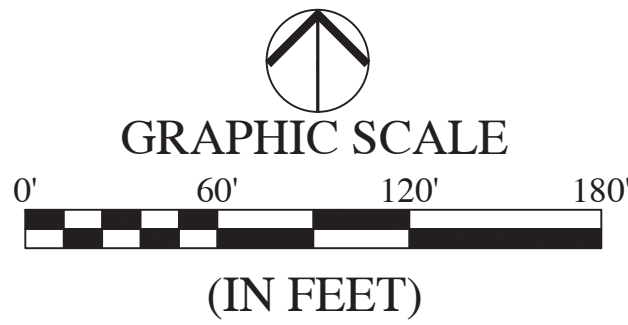
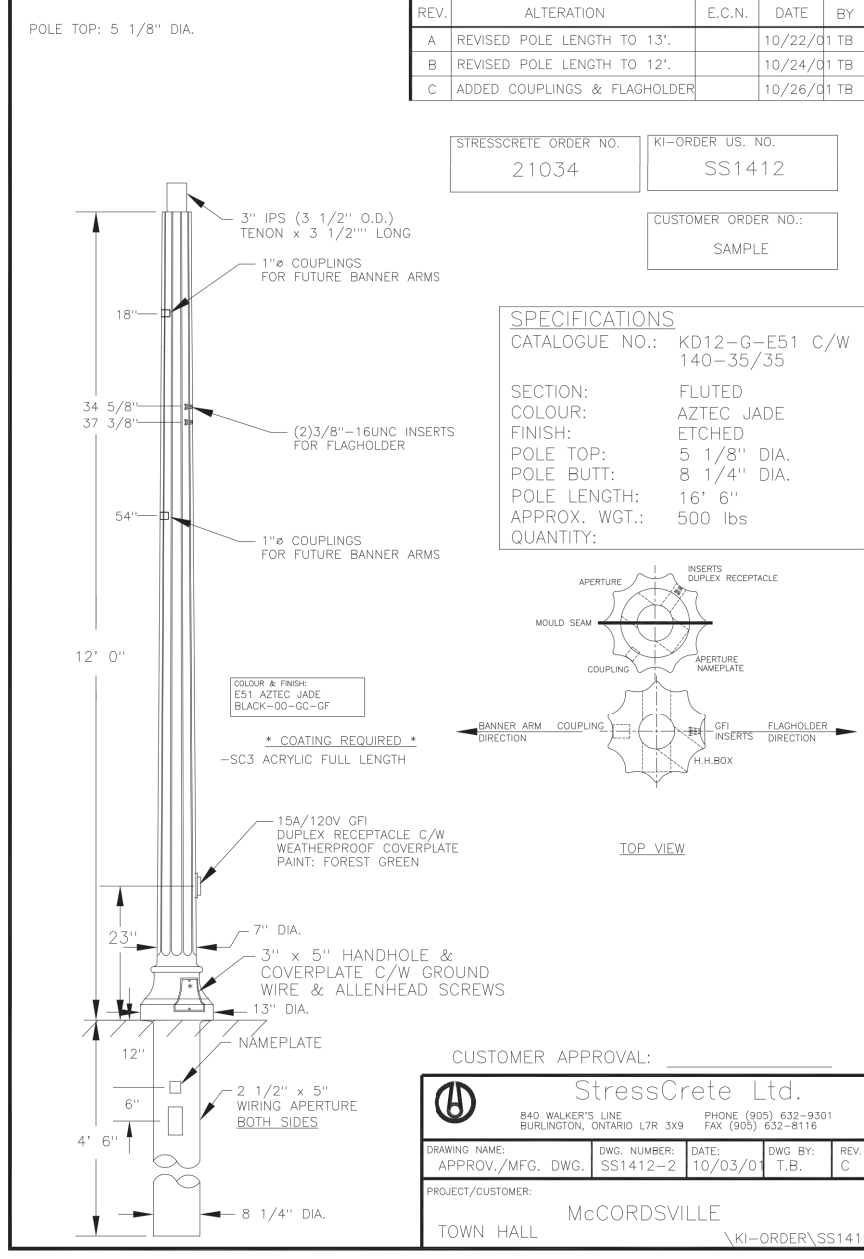
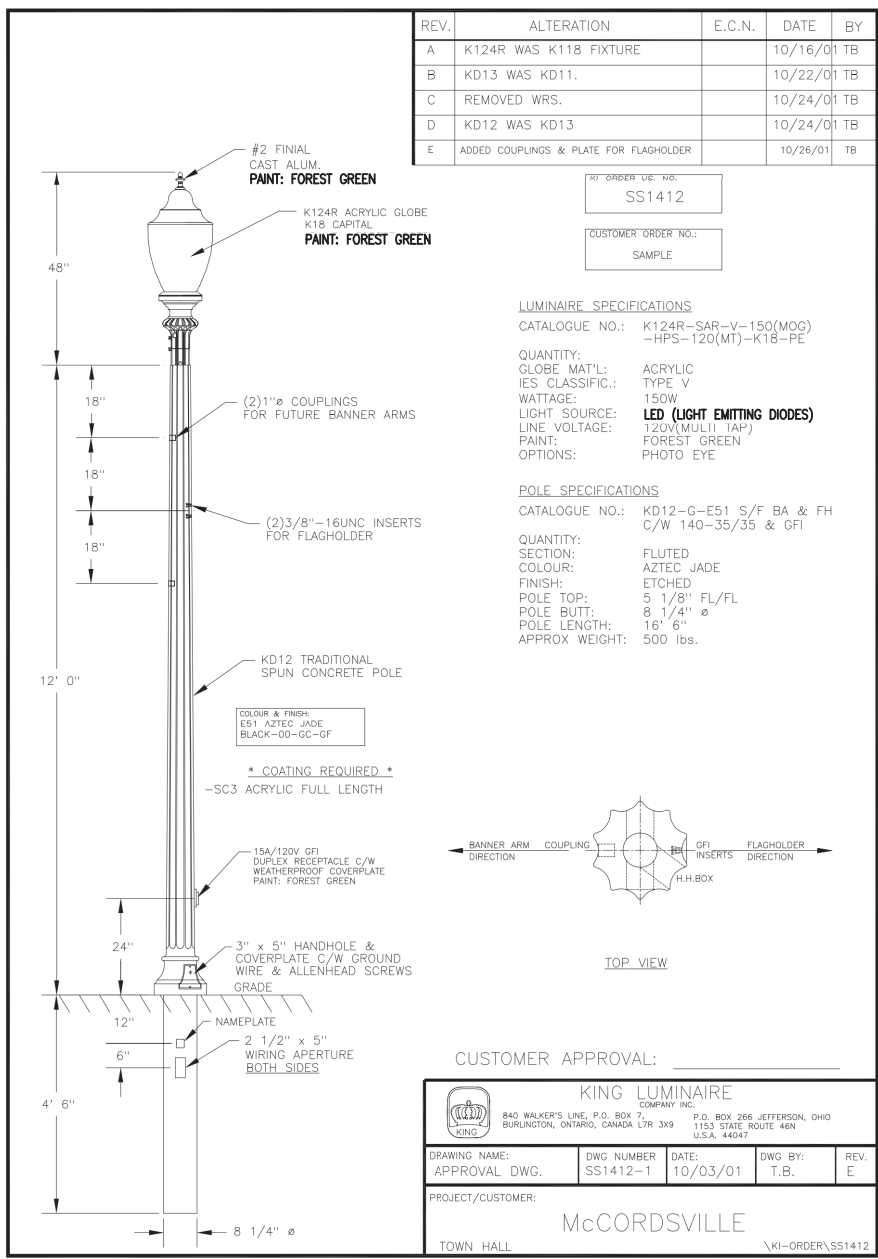
|                       |                                   |
|-----------------------|-----------------------------------|
| DRAWN BY<br>TS        | JOB NUMBER<br>2019-263-G<br>SHEET |
| CHECKED BY<br>KE      |                                   |
| DATE<br>NOVEMBER 2020 |                                   |
| SCALE<br>AS SHOWN     |                                   |
| SHEET                 |                                   |

C3.1

INTERSECTION DETAILS



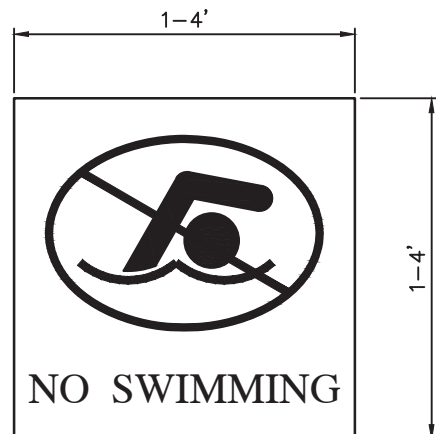
- GENERAL NOTES**
1. LIGHTING, SIGNS, IRRIGATION LINES, ETC. MUST BE CONSTRUCTED TO MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET FROM THE CENTER OF THE SANITARY SEWER FACILITIES.
  2. STREET LIGHTS ARE REQUIRED TO MATCH EXISTING STREET LIGHTS. TO INCLUDE POLE TYPE, FIXTURE TYPE, HEIGHT OF FIXTURE ETC.
  3. ALL STREET LIGHTING SHALL BE INSTALLED WITH REFLECTORS OR OTHER SUCH DEVICES OR CONTROLS SO THAT LIGHT IS REFLECTED DOWNWARD TO MITIGATE LIGHT SPILLOVER. ALL STREET LIGHTS ARE TO BE FULL CUT-OFF AND DARK SKY COMPLIANT.



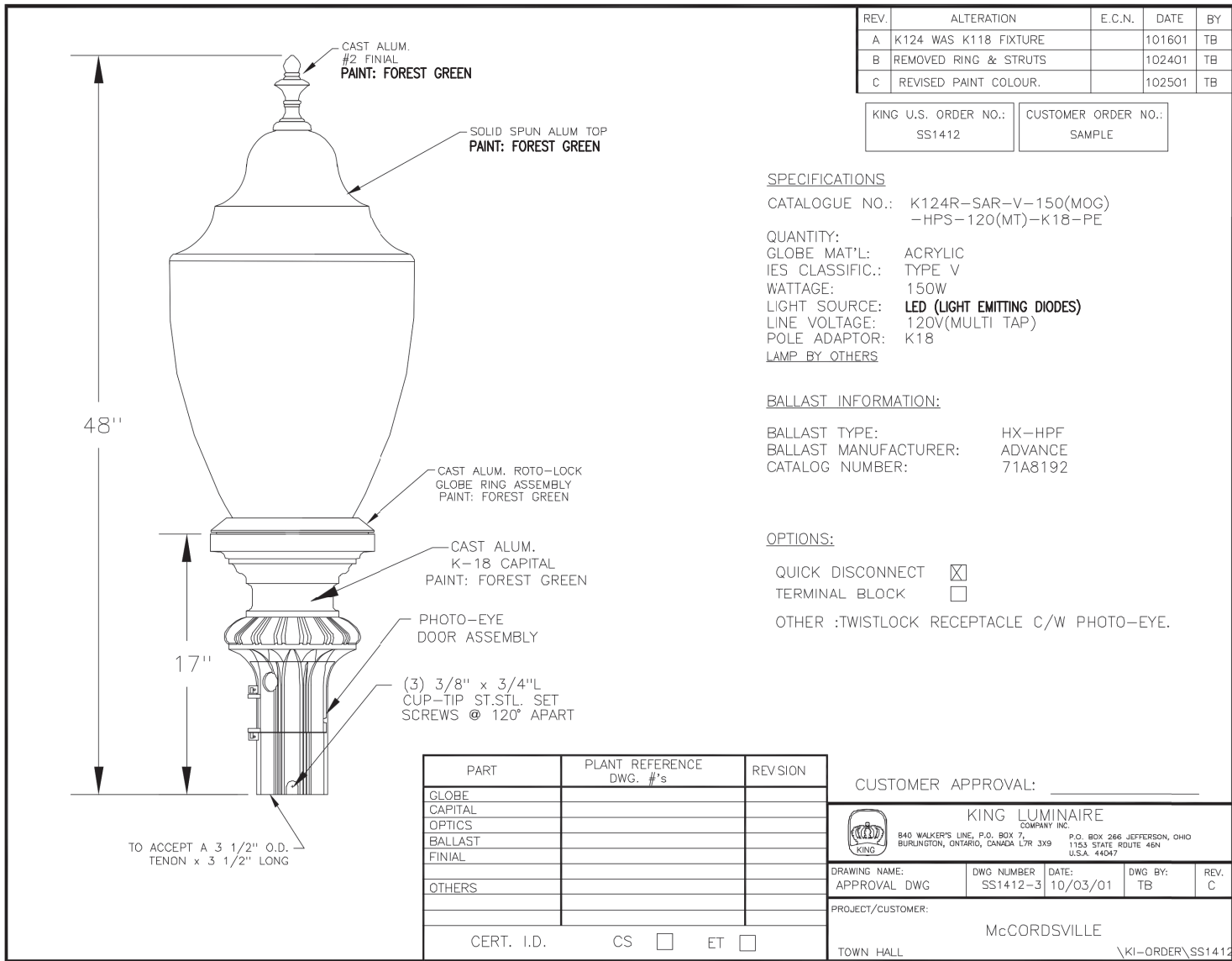
Call 811 or 800-382-5544 Before you Dig!

**LEGEND:**

| EXISTING | RIGHT-OF-WAY LINE             | PROPOSED                      |
|----------|-------------------------------|-------------------------------|
|          | STOP SIGN                     | STOP SIGN                     |
|          | SPEED LIMIT SIGN              | SPEED LIMIT SIGN              |
|          | STREET NAME SIGN              | STREET NAME SIGN              |
|          | END OF ROAD MARKER            | END OF ROAD MARKER            |
|          | HIGH POWERED LED STREET LIGHT | HIGH POWERED LED STREET LIGHT |
|          | POND SAFETY SIGN              | POND SAFETY SIGN              |



**POND SAFETY SIGN**  
NOT TO SCALE



| REVISIONS |             |    |
|-----------|-------------|----|
| DATE      | DESCRIPTION | BY |
|           |             |    |
|           |             |    |
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MCCORD POINTE SECTION 7  
MCCORDSVILLE, INDIANA  
TRAFFIC CONTROL PLAN



|                       |                          |
|-----------------------|--------------------------|
| DRAWN BY<br>TS        | CHECKED BY<br>KE         |
| DATE<br>NOVEMBER 2020 | SCALE<br>AS SHOWN        |
| SHEET                 | JOB NUMBER<br>2019-263-G |

**C3.2**  
TRAFFIC CONTROL PLAN

PLANT MATERIAL SCHEDULE

| KEY | BOTANICAL NAME                 | COMMON NAME            | QUANTITY | SIZE   | REMARKS                                   |
|-----|--------------------------------|------------------------|----------|--------|-------------------------------------------|
| AS  | ACER SCCHARUM 'LEGACY'         | LEGACY SUGAR MAPLE     | 5        | 2" B&B | CENTRAL LEADER, HEADED UP TO 4' MIN       |
| CV  | CRATEAGUS VIRDIS 'WINTER KING' | WINTER KING HAWTHORN   | 1        | 2" B&B | GOOD BRANCH STRUCTURE HEADED UP TO 4' MIN |
| PA  | PICEA ABIES                    | NORWAY SPRUCE          | 7        | 6" B&B | SINGLE LEADER, FULL, MATCHING SPECIMENS   |
| PV  | PRUNUS VIRGINIANA 'CANADA RED' | CANADA RED CHOKECHERRY | 6        | 2" B&B | CENTRAL LEADER, HEADED UP TO 4' MIN       |

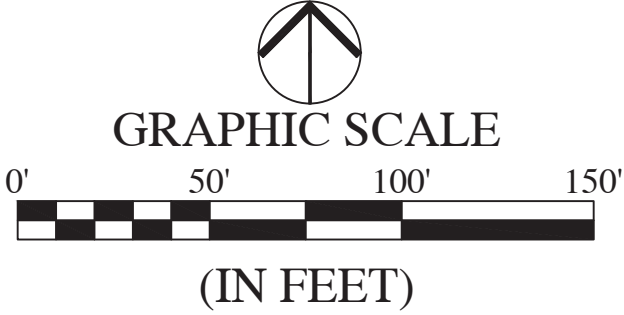
NOTE:  
SUPPLEMENTAL TREE PLANTINGS AT A RATE OF 5 TREES PER ACRE  
ARE REQUIRED

LANDSCAPE LEGEND:

- # XXX QUANTITY / KEY
- ENTRY MONUMENT
  - PERENNIAL BED
  - SHADE TREE
  - EVERGREEN TREE
  - ORNAMENTAL TREE
  - DECIDUOUS SHRUB
  - GRASSES

LEGEND:

- EXISTING
- RIGHT-OF-WAY LINE
  - EASEMENT LINE
  - SETBACK LINE
  - CENTERLINE
  - SWALE / FLOWLINE
  - SUBSURFACE DRAIN
  - SANITARY SEWER
  - STORM SEWER
  - STORM CULVERT
  - WATER MAIN
  - CONTOUR, MAJOR
  - CONTOUR, MINOR
  - FENCE
  - TREE LINE
  - SANITARY MANHOLE
  - STORM MANHOLE
  - STORM INLET
  - STORM END SECTION
  - FIRE HYDRANT
  - STREET LIGHT
- PROPOSED
- RIGHT-OF-WAY LINE
  - EASEMENT LINE
  - SETBACK LINE
  - CENTERLINE
  - SWALE / FLOWLINE
  - SUBSURFACE DRAIN
  - SANITARY SEWER
  - STORM SEWER
  - STORM CULVERT
  - WATER MAIN
  - CONTOUR, MAJOR
  - CONTOUR, MINOR
  - FENCE
  - TREE LINE
  - SANITARY MANHOLE
  - STORM MANHOLE
  - STORM INLET
  - STORM END SECTION
  - FIRE HYDRANT
  - STREET LIGHT



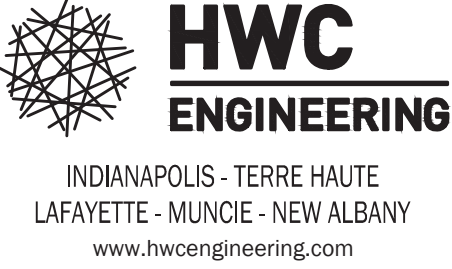
FOR CONTINUATION SEE SHEET L1.1

EXISTING MCCORD  
POINTE SECTION 5

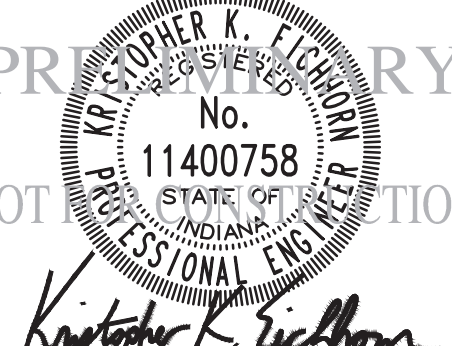
C.A.#7-4  
LAKE #3  
N.P. = 848.10  
10 YEAR ELEV. = 849.64  
100 YEAR ELEV. = 851.81  
BOTTOM ELEV. = 838.10

REVISIONS

| DATE   | DESCRIPTION            | BY  |
|--------|------------------------|-----|
| 1/5/21 | REVISED PER TAC REVIEW | HWC |
|        |                        |     |
|        |                        |     |
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MCCORD POINTE SECTION 7  
MCCORDSVILLE, INDIANA  
LANDSCAPE PLAN



|                       |                          |
|-----------------------|--------------------------|
| DRAWN BY<br>TS/TD/GM  | JOB NUMBER<br>2019-263-G |
| CHECKED BY<br>KE      |                          |
| DATE<br>NOVEMBER 2020 |                          |
| SCALE<br>AS SHOWN     |                          |
| SHEET                 |                          |

L1.0  
LANDSCAPE PLAN

PLANT MATERIAL SCHEDULE

| KEY | BOTANICAL NAME                 | COMMON NAME            | QUANTITY | SIZE   | REMARKS                                   |
|-----|--------------------------------|------------------------|----------|--------|-------------------------------------------|
| AS  | ACER SCCHARUM 'LEGACY'         | LEGACY SUGAR MAPLE     | 5        | 2" B&B | CENTRAL LEADER, HEADED UP TO 4' MIN       |
| CV  | CRATEAGUS VIRDIS 'WINTER KING' | WINTER KING HAWTHORN   | 1        | 2" B&B | GOOD BRANCH STRUCTURE HEADED UP TO 4' MIN |
| PA  | PICEA ABIES                    | NORWAY SPRUCE          | 7        | 6" B&B | SINGLE LEADER, FULL, MATCHING SPECIMENS   |
| PV  | PRUNUS VIRGINIANA 'CANADA RED' | CANADA RED CHOKECHERRY | 6        | 2" B&B | CENTRAL LEADER, HEADED UP TO 4' MIN       |

NOTE:  
SUPPLEMENTAL TREE PLANTINGS AT A RATE OF 5 TREES PER ACRE ARE REQUIRED

LANDSCAPE LEGEND:

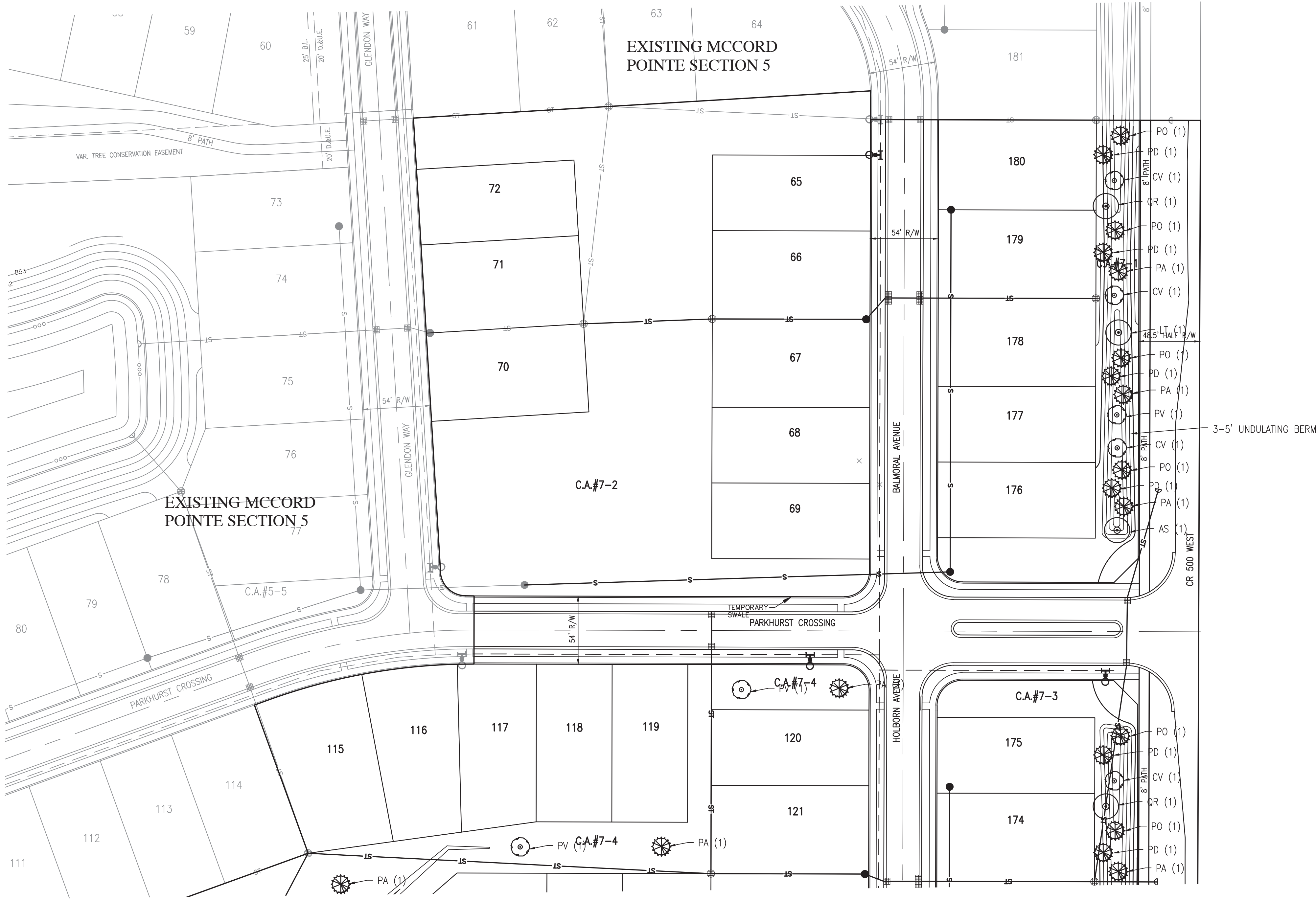
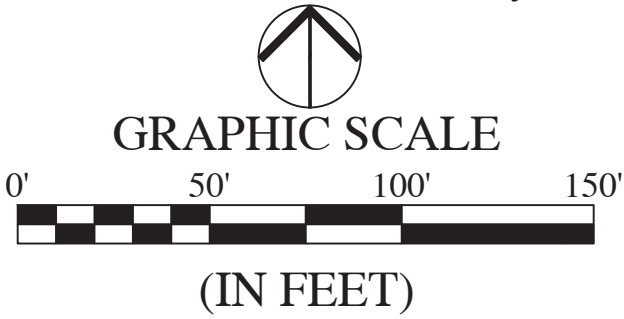
- # XXX QUANTITY / KEY
- ENTRY MONUMENT
- PERENNIAL BED
- SHADE TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- DECIDUOUS SHRUB
- GRASSES

LEGEND:

- EXISTING

  - RIGHT-OF-WAY LINE
  - EASEMENT LINE
  - SETBACK LINE
  - CENTERLINE
  - SWALE / FLOWLINE
  - SUBSURFACE DRAIN
  - SANITARY SEWER
  - STORM SEWER
  - STORM CULVERT
  - WATER MAIN
  - CONTOUR, MAJOR
  - CONTOUR, MINOR
  - FENCE
  - TREE LINE
  - SANITARY MANHOLE
  - STORM MANHOLE
  - STORM INLET
  - STORM END SECTION
  - FIRE HYDRANT
  - STREET LIGHT
- PROPOSED

  - RIGHT-OF-WAY LINE
  - EASEMENT LINE
  - SETBACK LINE
  - CENTERLINE
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  - CONTOUR, MAJOR
  - CONTOUR, MINOR
  - FENCE
  - TREE LINE
  - SANITARY MANHOLE
  - STORM MANHOLE
  - STORM INLET
  - STORM END SECTION
  - FIRE HYDRANT
  - STREET LIGHT



FOR CONTINUATION SEE SHEET L1.0

| REVISIONS |                        |     |
|-----------|------------------------|-----|
| DATE      | DESCRIPTION            | BY  |
| 1/5/21    | REVISED PER TAC REVIEW | HWC |
|           |                        |     |
|           |                        |     |
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|           |                        |     |

**HWC**  
ENGINEERING

INDIANAPOLIS - TERRE HAUTE  
LAFAYETTE - MUNCIE - NEW ALBANY  
www.hwcengineering.com

MCCORD POINTE SECTION 7  
MCCORDSVILLE, INDIANA

LANDSCAPE PLAN

PROFESSIONAL ENGINEER  
NOT FOR CONSTRUCTION

DRAWN BY  
TS/TD/GM

CHECKED BY  
KE

DATE  
NOVEMBER 2020

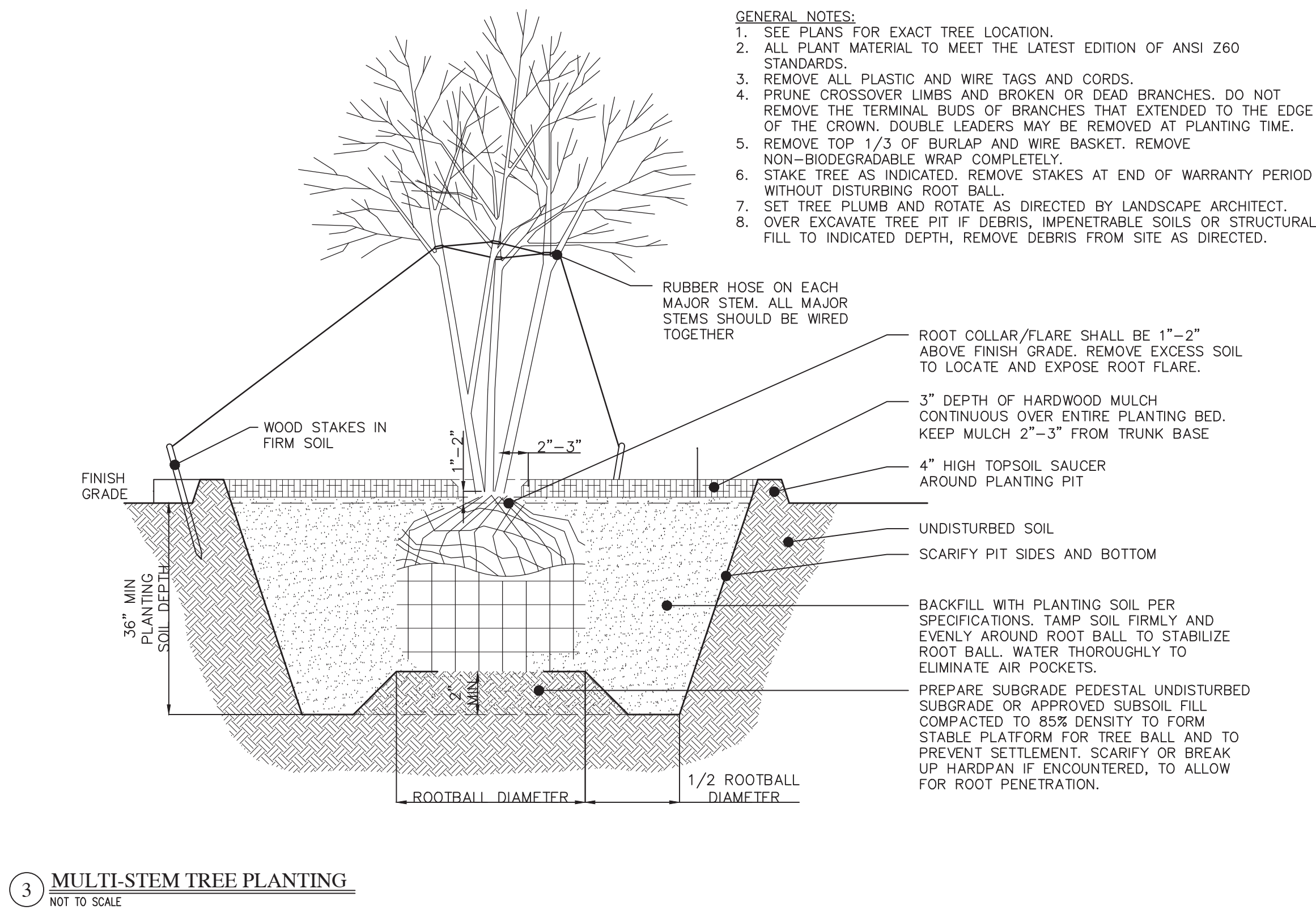
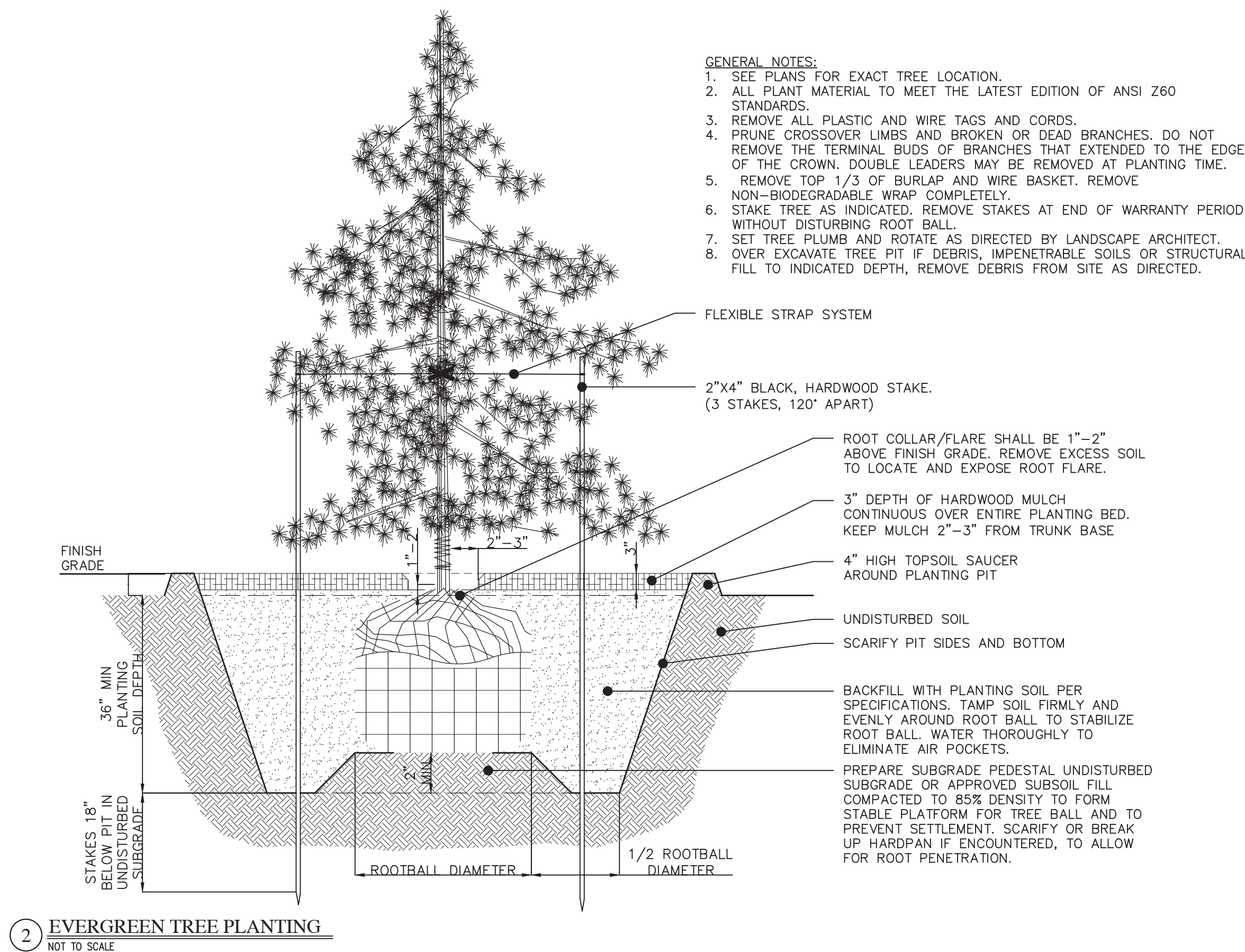
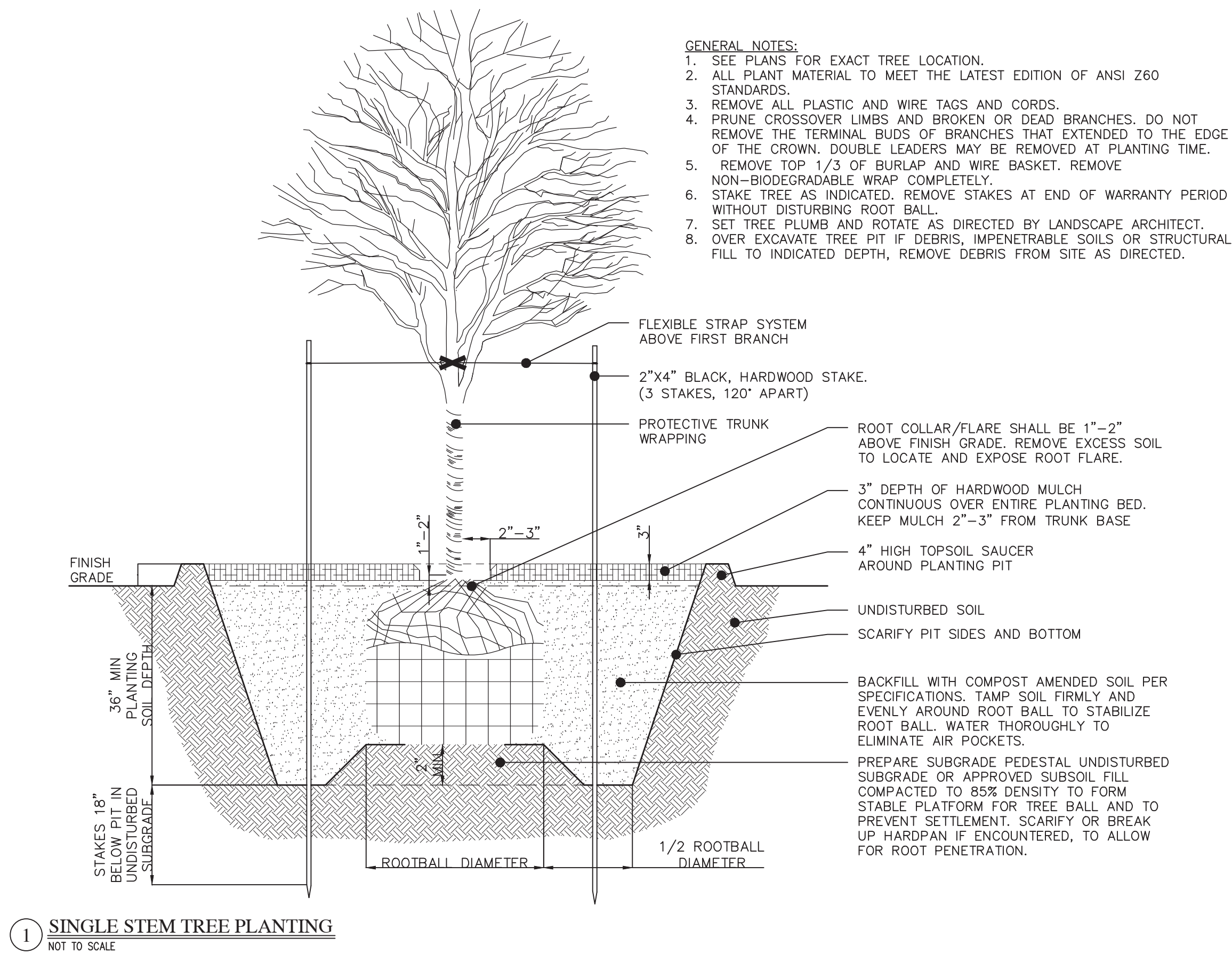
SCALE  
AS SHOWN

SHEET

JOB NUMBER  
2019-263-0

L1.1  
LANDSCAPE PLAN

Plot Date: Jan 05, 2021 Plot Time: 3:28pm File Name: W:\CalAtlantic Homes\2019-263-G Lennar- McCord Pointe Sec 7\Design\CAD\19263G\Landscape Plan.dwg, Layout: L1.2 By: keichhorn



| REVISIONS |                        |     |
|-----------|------------------------|-----|
| DATE      | DESCRIPTION            | BY  |
| 1/5/21    | REVISED PER TAC REVIEW | HWC |
|           |                        |     |
|           |                        |     |
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|           |                        |     |
|           |                        |     |

**HWC**  
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LAFAYETTE - MUNCIE - NEW ALBANY  
www.hwcengineering.com

MCCORD POINTE  
MCCORDSVILLE, INDIANA  
LANDSCAPE DETAILS

PROFESSIONAL ENGINEER  
No. 11400758  
STATE OF INDIANA  
NOT FOR CONSTRUCTION

Christopher K. Eichhorn

DRAWN BY TS/TD/GM  
CHECKED BY KE  
DATE NOVEMBER 2020  
SCALE AS SHOWN  
SHEET

JOB NUMBER 2019-263-G

L1.2  
LANDSCAPE DETAILS

THIS INSTRUMENT PREPARED BY:

KRISTOPHER K. EICHHORN  
HWC ENGINEERING  
135 N. PENNSYLVANIA STREET, SUITE 2800  
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PHONE: (317) 347-3663

DEVELOPED BY:  
LENNAR HOMES OF INDIANA, INC.  
9025 NORTH RIVER ROAD, SUITE 100  
INDIANAPOLIS, IN 46240  
PHONE: (317) 659-3200

ZONED McCORD POINTE AMENDED PUD ORDINANCE NO.  
101017B, AN ORDINANCE AMENDING THE TOWN OF  
McCORDSVILLE ZONING ORDINANCE NO. 121410, AS AMENDED.

DEVELOPMENT STANDARDS

|                               |                                                   |
|-------------------------------|---------------------------------------------------|
| MAXIMUM NUMBER OF LOTS        | 197                                               |
| MINIMUM LOT AREA              | 7,500 SQ. FT                                      |
| MINIMUM LOT WIDTH             |                                                   |
| AT BUILDING LINE              | 60                                                |
| MINIMUM FRONT YARD SETBACK    | 25 FEET                                           |
| MINIMUM SIDE YARD SETBACK     | 5 FEET                                            |
| MINIMUM REAR YARD SETBACK     | 25 FEET                                           |
| MINIMUM LIVABLE FLOOR AREA    | 1,500 SF (SINGLE STORY)<br>1,800 SF (MULTI STORY) |
| MIN. GROUND FLOOR LIVING AREA | 900 SF (MULTI STORY)                              |
| MAXIMUM LOT COVERAGE          | 45%*                                              |
| MAXIMUM HEIGHT - PRINCIPAL    | 35 FEET                                           |

\*NOTE: LOTS 61,62,73-77 HAVE MAXIMUM LOT COVERAGE OF 55% PER ORDINANCE 091019 RECORDED  
AS INST. #201909743 IN THE OFFICE OF THE RECORDER OF HANCOCK COUNTY, INDIANA.

# McCORD POINTE SECTION 7

## SECONDARY PLAT

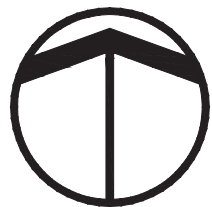
### TOWN OF McCORDSVILLE

VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA  
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: \_\_\_\_\_

CABINET: \_\_\_\_\_

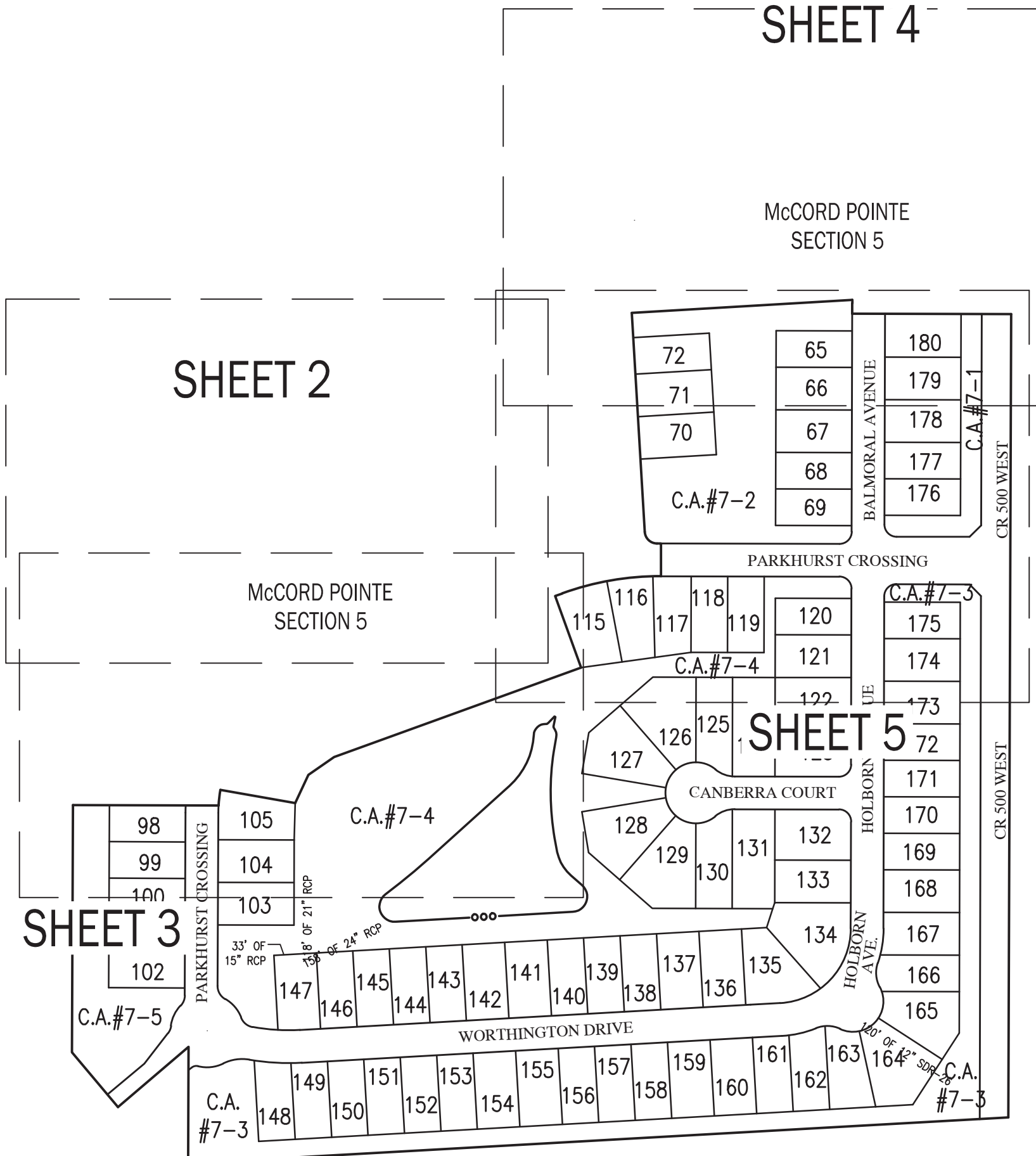
SLIDE: \_\_\_\_\_



Assumed North

0 100' 200' 400'

Scale: 1" = 200'



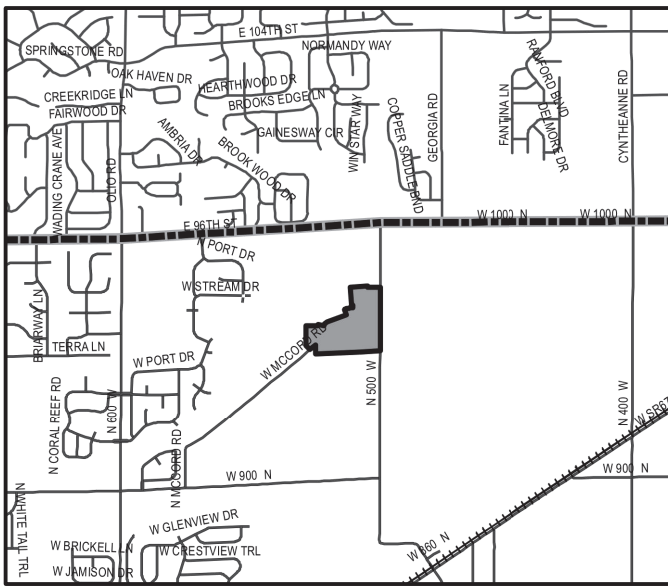
#### Site Map

SCALE: 1" = 100'

SEE SHEET 6 FOR LAND DESCRIPTION



Assumed North



#### Vicinity Map

Not to Scale

ALL SNOW REMOVAL IS THE  
RESPONSIBILITY OF THE  
HOA AND NOT THE TOWN.

| Curve Table |         |         |              |               |
|-------------|---------|---------|--------------|---------------|
| Curve #     | Length  | Radius  | Chord Length | Chord Bearing |
| C-1         | 165.58' | 473.00' | 164.73'      | S80°06'46"W   |
| C-2         | 30.18'  | 20.00'  | 27.39'       | S46°38'03"E   |
| C-3         | 31.42'  | 20.00'  | 28.28'       | N45°08'28"E   |
| C-4         | 31.42'  | 20.00'  | 28.28'       | S44°51'32"E   |
| C-5         | 31.42'  | 20.00'  | 28.28'       | S45°08'28"W   |
| C-6         | 31.42'  | 20.00'  | 28.28'       | N44°51'32"W   |
| C-7         | 31.42'  | 20.00'  | 28.28'       | N45°08'28"E   |
| C-8         | 34.60'  | 50.00'  | 33.91'       | S70°02'09"E   |
| C-9         | 226.28' | 50.00'  | 77.00'       | S00°08'28"W   |
| C-10        | 34.60'  | 50.00'  | 33.91'       | S70°19'05"W   |
| C-11        | 31.42'  | 20.00'  | 28.28'       | N44°51'32"W   |
| C-12        | 186.01' | 123.00' | 168.79'      | N43°27'54"E   |
| C-13        | 113.42' | 150.00' | 110.74'      | N21°48'11"E   |
| C-14        | 57.53'  | 177.00' | 57.28'       | N09°27'10"E   |
| C-15        | 40.88'  | 50.00'  | 39.75'       | S04°39'26"E   |
| C-16        | 124.87' | 50.00'  | 94.86'       | N43°27'54"E   |
| C-17        | 40.88'  | 50.00'  | 39.75'       | N88°24'46"W   |
| C-18        | 57.53'  | 177.00' | 57.28'       | N77°28'37"E   |
| C-19        | 113.42' | 150.00' | 110.74'      | N65°07'37"E   |
| C-20        | 86.62'  | 384.00' | 86.43'       | S86°44'57"E   |
| C-21        | 160.49' | 357.00' | 159.15'      | S80°49'11"E   |
| C-22        | 78.16'  | 330.00' | 77.98'       | S86°25'34"E   |
| C-23        | 25.46'  | 25.00'  | 24.38'       | S50°27'38"E   |
| C-24        | 40.71'  | 60.00'  | 39.94'       | N40°43'13"W   |
| C-25        | 26.35'  | 25.00'  | 25.15'       | S29°58'00"E   |
| C-26        | 59.50'  | 170.00' | 59.20'       | S09°29'50"E   |
| C-27        | 18.83'  | 25.00'  | 18.39'       | N21°48'33"E   |
| C-28        | 37.29'  | 60.00'  | 36.70'       | S25°35'06"W   |
| C-29        | 13.05'  | 25.00'  | 12.90'       | N22°43'50"E   |
| C-30        | 10.80'  | 12.00'  | 10.44'       | S78°32'09"W   |
| C-31        | 42.46'  | 60.00'  | 41.58'       | N84°02'44"E   |
| C-32        | 43.91'  | 70.00'  | 43.19'       | S81°44'31"W   |
| C-33        | 25.84'  | 223.00' | 25.82'       | S06°35'47"W   |

Kristopher K. Eichhorn  
Professional Surveyor No. 21000230

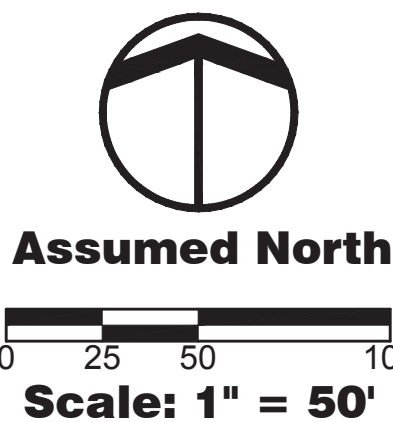


SHEET 1 OF 6

THIS INSTRUMENT PREPARED BY:

KRISTOPHER K. EICHHORN  
HWC ENGINEERING  
135 N. PENNSYLVANIA STREET, SUITE 2800  
INDIANAPOLIS, INDIANA 46204  
PHONE: (317) 347-3663

DEVELOPED BY:  
LENNAR HOMES OF INDIANA, INC.  
9025 NORTH RIVER ROAD, SUITE 100  
INDIANAPOLIS, IN 46240  
PHONE: (317) 659-3200



# McCORD POINTE SECTION 7

## SECONDARY PLAT

### TOWN OF McCORDSVILLE

VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA  
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: \_\_\_\_\_

CABINET: \_\_\_\_\_

SLIDE: \_\_\_\_\_

| LEGEND      |                                            |
|-------------|--------------------------------------------|
| 25          | LOT NUMBER                                 |
| D.E.        | DRAINAGE EASEMENT                          |
| D.&U.E.     | DRAINAGE & UTILITY EASEMENT                |
| D.U.&S.S.E. | DRAINAGE UTILITY & SANITARY SEWER EASEMENT |
| R.D.E.      | REGULATED DRAIN EASEMENT                   |
| L.E.        | LANDSCAPE EASEMENT                         |
| B.S.L.      | BUILDING SETBACK LINE                      |
| R/W         | RIGHT OF WAY                               |
| C.A.        | COMMON AREA                                |
| S.F.        | SQUARE FEET                                |
| AC          | ACRES                                      |
| R           | RADIUS                                     |
| N.A.E.      | NON ACCESS EASEMENT                        |
| T.P.A.      | TREE PRESERVATION AREA                     |

| LEGEND            |       |
|-------------------|-------|
| RIGHT-OF-WAY LINE | _____ |
| LOT LINE          | _____ |
| BOUNDARY LINE     | _____ |
| EASEMENT LINE     | _____ |
| SETBACK LINE      | _____ |
| CENTERLINE        | _____ |
| SECTION LINE      | _____ |

- SUBDIVISION MONUMENTS
- DENOTES A 5/8" DIA. ALUMINUM MONUMENT 6" LONG WITH 1-1/2" DIA. ALUMINUM CAP STAMPED "HWC ENGINEERING FIRM #0114" SET FLUSH WITH THE FINISHED STREET SURFACE
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ALL SNOW REMOVAL IS THE  
RESPONSIBILITY OF THE  
HOA AND NOT THE TOWN.



SEE SHEET 1 FOR CURVE TABLE  
SEE SHEET 6 FOR LAND DESCRIPTION

Kristopher K. Eichhorn  
Professional Surveyor No. 21000230



SHEET 2 OF 6

Plot Date: Jan 05, 2021 Plot Time: 3:28pm File Name: W:\CalAtlantic Homes\2019-263-G Lennar-McCord Pointe Sec 7\Design\CAD\19263G.zbse.dwg, Layout: Plot 3-4 By: kechhorn

THIS INSTRUMENT PREPARED BY:  
KRISTOPHER K. EICHORN  
HWC ENGINEERING  
135 N. PENNSYLVANIA STREET, SUITE 2800  
INDIANAPOLIS, INDIANA 46204  
PHONE: (317) 347-3663

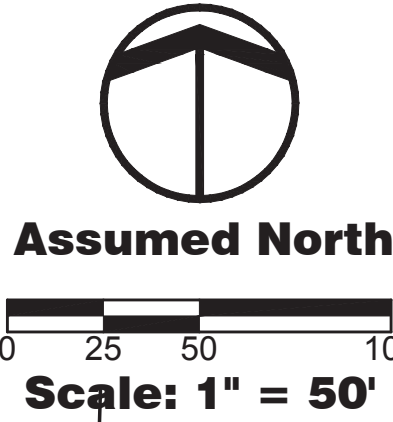
DEVELOPED BY:  
LENNAR HOMES OF INDIANA, INC.  
9025 NORTH RIVER ROAD, SUITE 100  
INDIANAPOLIS, IN 46240  
PHONE: (317) 659-3200

| LEGEND      |                                            |
|-------------|--------------------------------------------|
| 25          | LOT NUMBER                                 |
| D.E.        | DRAINAGE EASEMENT                          |
| D.&U.E.     | DRAINAGE & UTILITY EASEMENT                |
| D.U.&S.S.E. | DRAINAGE UTILITY & SANITARY SEWER EASEMENT |
| R.D.E.      | REGULATED DRAIN EASEMENT                   |
| L.E.        | LANDSCAPE EASEMENT                         |
| B.S.L.      | BUILDING SETBACK LINE                      |
| R/W         | RIGHT OF WAY                               |
| C.A.        | COMMON AREA                                |
| S.F.        | SQUARE FEET                                |
| AC          | ACRES                                      |
| R           | RADIUS                                     |
| N.A.E.      | NON ACCESS EASEMENT                        |
| T.P.A.      | TREE PRESERVATION AREA                     |

| LEGEND            |       |
|-------------------|-------|
| RIGHT-OF-WAY LINE | _____ |
| LOT LINE          | _____ |
| BOUNDARY LINE     | _____ |
| EASEMENT LINE     | _____ |
| SETBACK LINE      | _____ |
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Kristopher K. Eichhorn  
Professional Surveyor No. 21000230



SHEET 3 OF 6

SEE SHEET 1 FOR CURVE TABLE  
SEE SHEET 6 FOR LAND DESCRIPTION

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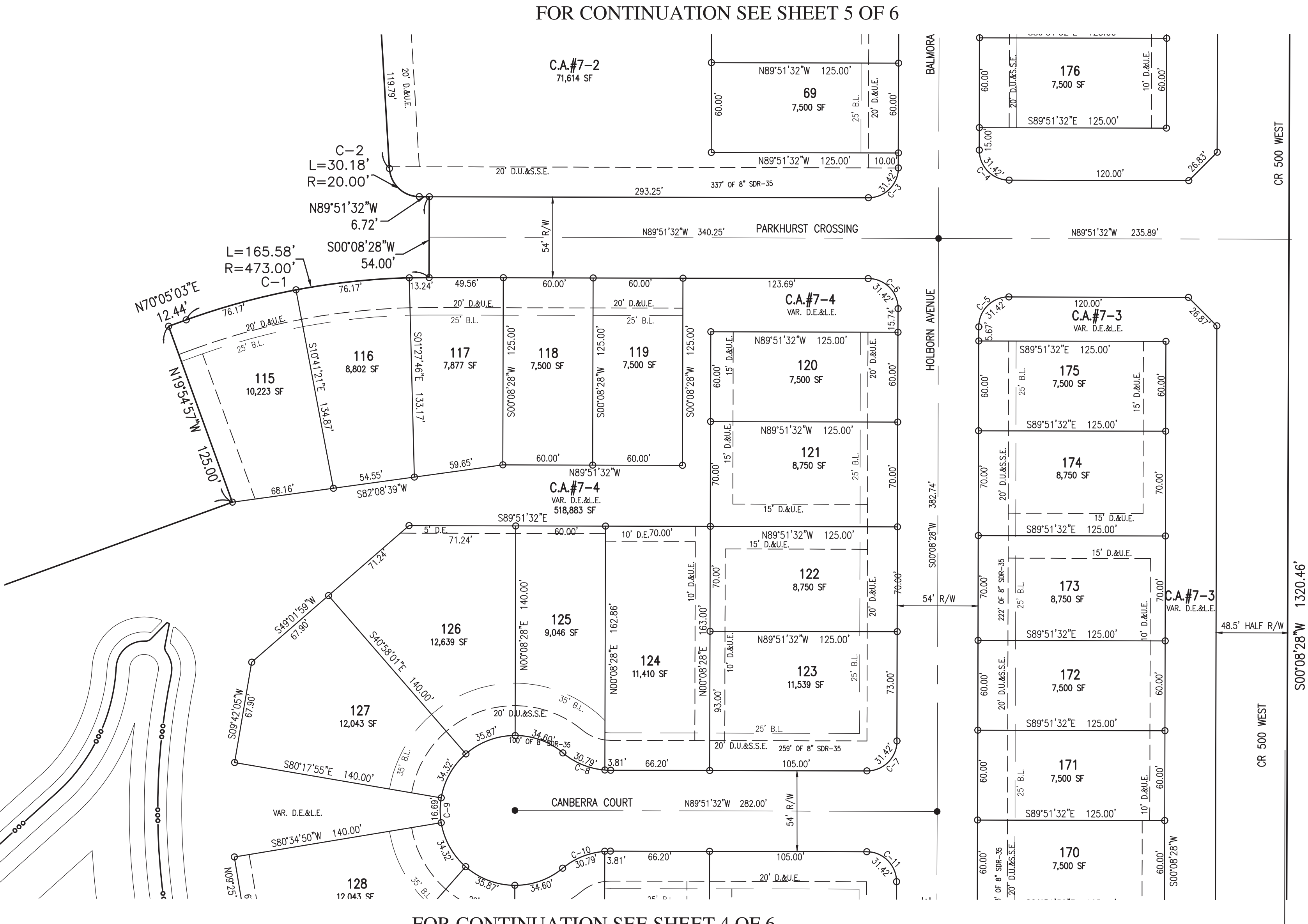
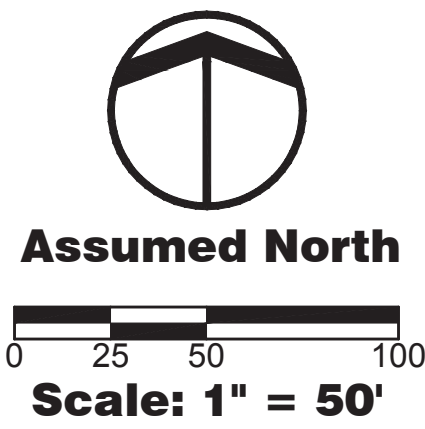
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| LEGEND      |                                            |
|-------------|--------------------------------------------|
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| D.&U.E.     | DRAINAGE & UTILITY EASEMENT                |
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| R.D.E.      | REGULATED DRAIN EASEMENT                   |
| L.E.        | LANDSCAPE EASEMENT                         |
| B.S.L.      | BUILDING SETBACK LINE                      |
| R/W         | RIGHT OF WAY                               |
| C.A.        | COMMON AREA                                |
| S.F.        | SQUARE FEET                                |
| AC          | ACRES                                      |
| R           | RADIUS                                     |
| N.A.E.      | NON ACCESS EASEMENT                        |
| T.P.A.      | TREE PRESERVATION AREA                     |

| LEGEND            |       |
|-------------------|-------|
| RIGHT-OF-WAY LINE | _____ |
| LOT LINE          | _____ |
| BOUNDARY LINE     | _____ |
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Kristopher K. Eichhorn  
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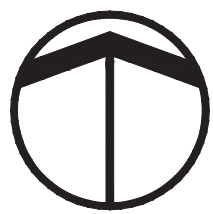
SHEET 4 OF 6

SEE SHEET 1 FOR CURVE TABLE  
SEE SHEET 6 FOR LAND DESCRIPTION

Plot Date: Jan 05, 2021 Plot Time: 3:28pm File Name: W:\CalAtlantic Homes\2019-263-G Lennar- McCord Pointe Sec 7\Design\CAD\19263G-zbose.dwg, Layout: Plat 5-6 By: keichhorn

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Assumed North

Scale: 1" = 50'

LEGEND

|             |                                            |
|-------------|--------------------------------------------|
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| D.&U.E.     | DRAINAGE & UTILITY EASEMENT                |
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LEGEND

|                   |       |
|-------------------|-------|
| RIGHT-OF-WAY LINE | _____ |
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SEE SHEET 1 FOR CURVE TABLE  
SEE SHEET 6 FOR LAND DESCRIPTION

# McCORD POINTE SECTION 7

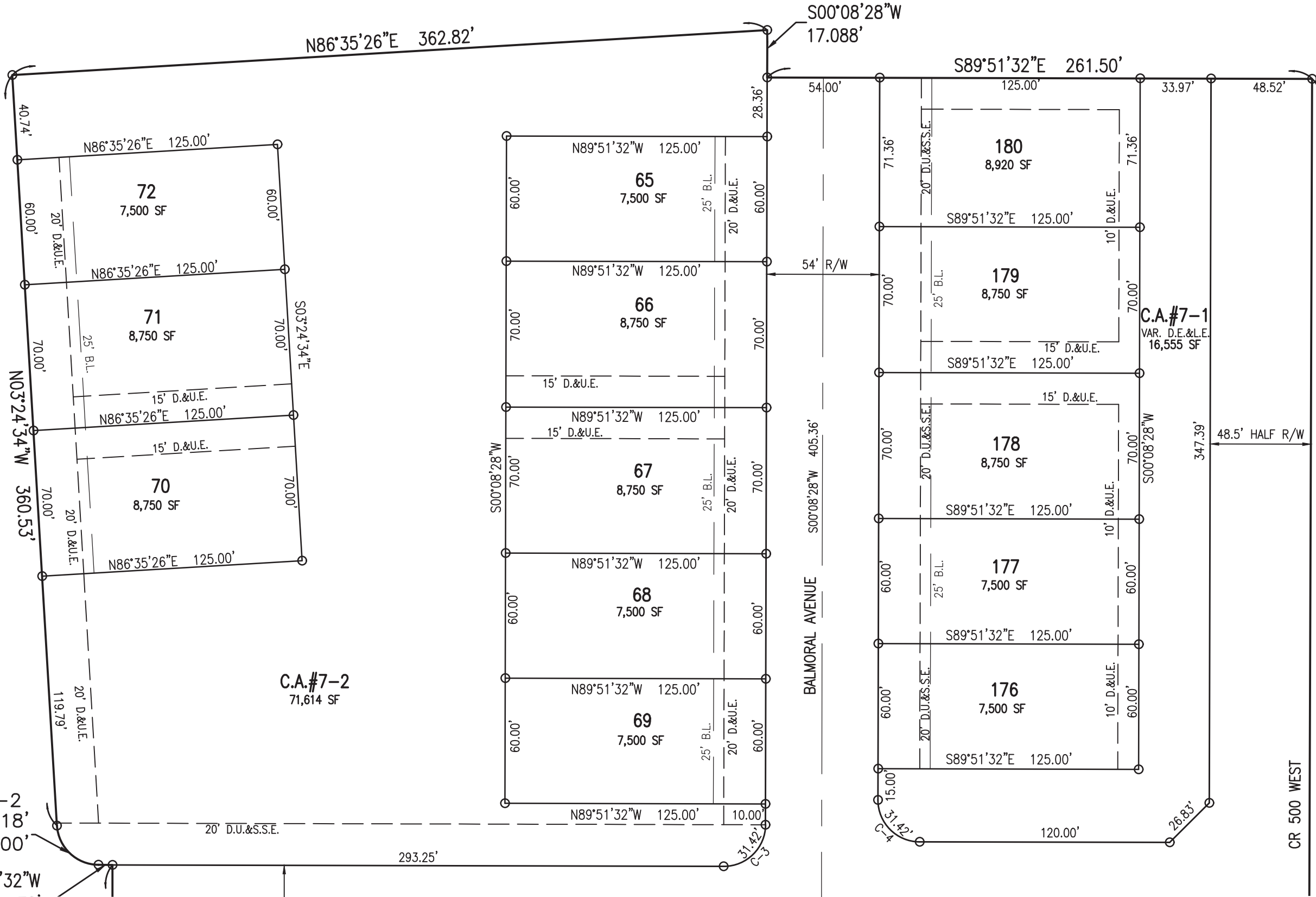
## SECONDARY PLAT

### TOWN OF McCORDSVILLE

VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA  
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

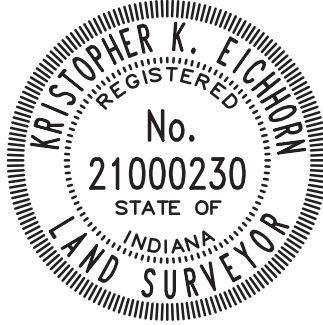
FOR CONTINUATION SEE SHEET 4 OF 6

INSTRUMENT No.: \_\_\_\_\_  
CABINET: \_\_\_\_\_  
SLIDE: \_\_\_\_\_



FOR CONTINUATION SEE SHEET 4 OF 6

Kristopher K. Eichhorn  
Professional Surveyor No. 21000230



SHEET 5 OF 6

THIS INSTRUMENT PREPARED BY:  
KRISTOPHER K. EICHHORN  
HWC ENGINEERING  
135 N. PENNSYLVANIA STREET, SUITE 2800  
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INDIANAPOLIS, IN 46240  
PHONE: (317) 659-3200

SOURCE OF TITLE

INST. #201801179  
INST. #201801180  
INST. #201900810

I, the undersigned Registered Land Surveyor, hereby certify that the included plat correctly represents a subdivision of part of the Northeast Quarter of Section 13, Township 17 North, Range 5 East of the Second Principal Meridian, Vernon Township, Hancock County, Indiana being more particularly described as follows:

BEGINNING at the southeast corner of said quarter section, said corner marked by a railroad spike found per Hancock County Surveyor Reference Ties; thence South 86 degrees 47 minutes 20 seconds West (assumed bearing per survey recorded as Instrument Number 201805353 in the Office of the Recorder of Hancock County, Indiana) along the south line of said quarter section a distance of 1352.15 feet to the southwest corner of the southeast quarter of said northeast quarter; thence North 00 degrees 12 minutes 59 seconds East along the west line of the southeast quarter of said northeast quarter a distance of 190.41 feet to the northeasterly extension of the southeasterly line of McCord Pointe, Section 2, per plat recorded in Plat Cabinet D, Slide 90 as Instrument Number 202004538 in said Recorder's Office; thence South 49 degrees 57 minutes 15 seconds West along said northeast extension a distance of 151.40 feet to a southeast corner of said McCord Pointe, Section 2 and the following two (2) courses are along easterly lines of said McCord Pointe, Section 2; (1) thence North 40 degrees 02 minutes 45 seconds West a distance of 117.47 feet; (2) thence North 00 degrees 13 minutes 35 seconds East a distance of 406.50 feet to a southwest corner of McCord Pointe, Section 5, per plat recorded in Plat Cabinet \_\_\_\_, Slide \_\_\_\_ as Instrument Number \_\_\_\_\_ and the following seventeen (17) courses are along the lines of said McCord Pointe, Section 5; (1) thence South 89 degrees 46 minutes 25 seconds East a distance of 239.32 feet to a point on a non-tangent curve to the right having a radius of 223.00 feet and being subtended by a long chord having a bearing of North 06 degrees 35 minutes 47 seconds East and a chord length of 25.82 feet; (2) thence northerly along said curve an arc distance of 25.84 feet; (3) thence South 80 degrees 05 minutes 05 seconds East a distance of 125.00 feet; (4) thence North 25 degrees 03 minutes 32 seconds East a distance of 51.20 feet; (5) thence North 55 degrees 20 minutes 47 seconds East a distance of 51.20 feet; (6) thence North 70 degrees 05 minutes 02 seconds East a distance of 431.83 feet; (7) thence North 19 degrees 54 minutes 57 seconds West a distance of 125.00 feet; (8) thence North 70 degrees 05 minutes 03 seconds East a distance of 12.44 feet to the point of curvature of a curve to the right having a radius of 473.00 feet and being subtended by a long chord having a bearing of North 80 degrees 06 minutes 46 seconds East and a chord length of 164.73 feet; (9) thence easterly along said curve an arc distance of 165.58 feet; (10) thence North 00 degrees 08 minutes 28 seconds East a distance of 54.00 feet; (11) thence North 89 degrees 51 minutes 32 seconds West a distance of 6.72 feet to the point of curvature of a curve to the right having a radius of 20.00 feet and being subtended by a long chord having a bearing of North 46 degrees 38 minutes 03 seconds West and a length of chord 27.39 feet; (12) thence westerly and northerly along said curve an arc distance of 30.18 feet; (13) thence North 03 degrees 24 minutes 34 seconds West a distance of 360.53 feet; (14) thence North 86 degrees 35 minutes 26 seconds East a distance of 362.82 feet to a point on a non-tangent curve to the right having a radius of 123.00 feet and being subtended by a long chord having a bearing of South 01 degrees 10 minutes 06 seconds East and a chord length of 5.62 feet; (15) thence southerly an arc distance of 5.62 feet; (16) thence South 00 degrees 08 minutes 28 seconds West a distance of 17.09 feet; (17) thence South 89 degrees 51 minutes 32 seconds East a distance of 261.50 feet to the east line of said quarter section; thence South 00 degrees 08 minutes 28 seconds West along said east line a distance of 1320.46 feet to the POINT OF BEGINNING, containing 32.840 acres, more or less.

This subdivision consists of 82 lots numbered 65-72, 98-105 and 115-180, all inclusive, and 5 Common Areas denoted as CA #7-1, CA #7-2, CA #7-3, CA#7-4 and CA #7-5.

Cross-Reference is hereby made to a survey plat prepared by Stoeppelwerth & Associates, Inc. in accordance with Title 865, Article 1, Chapter 12 of the Indiana Administrative Code, recorded as Instrument Number 201805353 in the Office of the Recorder of Hancock County, Indiana.

I further certify that I am a Registered Land Surveyor, licensed in compliance with the laws of the State of Indiana and that the within plat represents a subdivision of the lands surveyed within the cross referenced survey plat, and that to the best of my knowledge and belief there has been no change from the matters of survey revealed by the cross referenced survey on any lines that are common with the new subdivision.

Witness by signature this \_\_\_\_ day of \_\_\_\_, 20 \_\_\_\_.

26th August 20

Kristopher K. Eichhorn  
Professional Surveyor No. 21000230



# McCORD POINTE SECTION 7

## SECONDARY PLAT

### TOWN OF McCORDSVILLE

VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA  
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

ACCEPTANCE OF DEED OF DEDICATION

We, the undersigned Lennar Homes of Indiana, Inc., a Delaware Corporation, owners of the real estate shown and described on the plat herein and recorded in the Office of the Recorder of Hancock County, Indiana, do hereby lay off, plat and subdivide, said real estate in accordance with the within plat. We further certify that this plat is made and submitted with our free consent and desires.

This subdivision shall be known and designated as McCord Pointe, Section 7. All streets shown and not heretofore dedicated are hereby dedicated to the public.

Dedicated right-of-way in this subdivision consists of 3.031 acres and 2,430 lineal feet as measured along the centerline of the road.

Title to the foregoing real estate is subject to a certain Declaration of Covenants, Conditions and Restrictions for McCord Pointe, recorded as Instrument Number 201900184 in the Office of the Recorder of Hancock County, Indiana, and amended by Instrument Number 201903207 in said Recorder's Office, as the same may be amended or supplemented. Such Declaration and the Covenants and Restrictions set forth therein run with the land described hereon and are incorporated herein by reference. Each owner of a lot depicted on this plat shall take title to such lot subject to the terms and conditions of the Declaration.

Front yard building setback lines are hereby established as shown on this plat, between which lines and the property lines of the street, there shall be erected or maintained no building or structure.

A perpetual utility easement is hereby granted to any private or public utility or municipal department, their successors and assigns, within the area shown on the plat and marked "Utility Easement", to install, lay, construct, renew, operate, maintain and remove conduits, cables, pipes, poles and wires, overhead and underground, with all necessary braces, guys, anchors and other equipment for the purpose of serving the subdivision and other property with telephone, internet, cable tv, electric and gas, sewer and water service as a part of the respective utility systems; also is granted (subject to the prior rights of the public therein or other governing codes and ordinances) the right to use the streets and lots with aerial service wires to serve adjacent lots and street lights, the right to cut down and remove or trim and keep trimmed any trees or shrubs that interfere or threaten to interfere with any of the said private or public utility equipment, and the right is hereby granted to enter upon the lots at all times for all of the purposes aforesaid. No permanent structures, fences, or trees shall be placed on said area as shown on the plat and marked "Utility Easement", but same may be used for gardens, shrubs, landscaping and other purposes that do not then or later interfere with the aforesaid user or the rights herein granted.

Tree Preservation Area - A tree preservation area is shown on this plat an abbreviated as "T.P.A.". Within the tree preservation area, no trees with a diameter at breast height ("DBH") in excess of six inches (6") or more (the "Protected Trees") shall be removed unless the tree is damaged, diseased, dead, or is to be removed in order to: (1) comply with the safety requirements of any governmental agency; or (2) to accommodate the installation of drainage utilities, street connections, walking path or other infrastructure. If a Protected Tree is damaged or otherwise removed by the developer or builder, except as permitted to be removed as listed above, then the developer or builder shall reestablish the Protected Tree with a tree or trees of combined equal or greater DBH subject to the availability of space for their healthy growth in the tree preservation area.

In addition, this Deed shall dedicate to the Town of McCordsville, Indiana, any and all sewer infrastructure installed for, by or on behalf of the undersigned, said infrastructure to include but not be limited to the sewer collection system, force main, lift station, or any other component part of the sewer system which serves the subject subdivision.

The right to enforce these provisions by injunction, together with the right to cause the removal, by due process of law, of any structure or part thereof erected, or maintained in violation hereof, is hereby maintained in violation hereof, is hereby dedicated to the Town of McCordsville, Indiana, its assigns or designated agent or representative.

Be it resolved by the McCordsville Town Council, McCordsville, Indiana, that the dedications shown on this plat are hereby approved and accepted this \_\_\_\_ day of \_\_\_\_, 20 \_\_\_\_.

President

CERTIFICATE OF OWNERSHIP

We, Lennar Homes of Indiana, Inc., do hereby certify that we are the owner of the property described in the above caption and that as such owner it has caused the said above described property to be surveyed and subdivided as shown on the herein drawn plat, as its free and voluntary act and deed.

Owner/Developer  
Lennar Homes of Indiana, Inc., a Delaware Corporation

By: \_\_\_\_\_  
Keith Lash, Vice President Land Acquisition and Development

State of Indiana )  
                              ) SS  
County of Hamilton )

Before me, the undersigned, a Notary Public in and for said County and State, personally appeared Keith Lash, Vice President Land Acquisition and Development, Lennar Homes of Indiana, Inc., and acknowledged the execution of this instrument as his voluntary act and deed and affixed his signature thereto.

Witness my signature and seal this \_\_\_\_ day of \_\_\_\_, 20 \_\_\_\_.

Notary Public

Printed Name

County of Residence: \_\_\_\_\_

My commission expires: \_\_\_\_\_

INSTRUMENT No.: \_\_\_\_\_  
CABINET: \_\_\_\_\_  
SLIDE: \_\_\_\_\_

DRAINAGE COVENANT

Channels, tile drains 8-inch or larger, inlets and outlets of detention and retention ponds, and appurtenances thereto within designated drain easements are extensions of the McCordsville's stormwater drainage system and are the responsibility of the McCordsville Drainage Board and/or the McCordsville Public Works Commissioner. Drainage swales and tile drains less than 8-inch in inside diameter shall be the responsibility of the property owner or homeowner association.

A petition addressed to the McCordsville Drainage Board has been filed in duplicate with the McCordsville Town Engineer, requesting that the subdivision's storm drainage system and its easements be accepted into the regulated drain system. Channels, tile drains 8-inch or larger, inlets and outlets of detention and retention ponds, and appurtenances thereto within designated drain easements are extensions of the McCordsville's stormwater drainage system and are the responsibility of the McCordsville Drainage Board and/or the McCordsville Public Works Commissioner. Drainage swales and tile drains less than 8-inch in inside diameter shall be the responsibility of the property owner or homeowner association. The storm drainage system and its easements that are accepted in to the regulated drainage system are delineated on the plat as Regulated Drainage Easements (RDE's). Regulated Drainage Easements are stormwater easements and drainage rights of way that are hereby dedicated to the public and to McCordsville, Indiana, for the sole and exclusive purpose of controlling surface water and/or for installation, operation, and maintenance of storm sewers and tile drains as defined in McCordsville Stonnwater Management Ordinance. These drainage easements are established under authority of the Indiana Drainage Code and the said Board may exercise powers and duties as provided in said code. All other storm drainage easements have not been accepted into the town's system. All drainage improvements performed relative to the conveyance of Stormwater runoff and the perpetual maintenance thereof, with the latter easements, shall be the responsibility of the owner or homeowner association. The McCordsville Drainage Board assumes no responsibility relative to said improvements or the maintenance thereof. This subdivision contains 0 linear feet of open ditches and 0 feet of subsurface drains that will be included in the Town's Regulated Drainage System.

TOWN APPROVAL

McCORDSVILLE ADVISORY PLAN COMMISSION

This is to certify that this plat has been approved by the McCordsville Advisory Plan Commission

the \_\_\_\_ day of \_\_\_\_, 20\_\_\_\_, under the authority provided by:

Signature \_\_\_\_\_ Signature \_\_\_\_\_

Printed Name \_\_\_\_\_ Printed Name \_\_\_\_\_

REDACTION STATEMENT

I affirm under the penalties for perjury, that I have taken reasonable care to redact each social security number in this document, unless required by law. Kristopher K. Eichhorn

PUD, COVENANTS & OTHER NOTES

The subject tract is zoned McCord Pointe Amended PUD ORDINANCE No. 101017B and Ordinance amending the Town of McCordsville ZONING ORDINANCE No. 121410, as amended.

ALL SNOW REMOVAL IS THE RESPONSIBILITY OF THE HOA AND NOT THE TOWN.

SHEET 6 OF 6