



November 30, 2020

Architectural Review Committee &  
Ryan Crum  
Director of Planning & Building  
Town of McCordsville  
6280 W. 800 N.  
McCordsville, IN 46055

RE: Architectural Review Approval for McCord Pointe

Lennar Homes is requesting architectural approval for the Spencer elevation to be built at McCord Pointe Area B. The plan and colored rendering is included with this package.

This letter shall serve as written confirmation that Lennar stipulates it will meet the Architectural Standards approved as part of Ordinance No. 101017B for McCord Pointe. Some of the architectural standards are not shown on our drawings. However, via this letter, Lennar commits to meet each of architectural standards identified in the ordinance. Lennar requests this letter be used in conjunction with the architectural drawings submitted to the Architectural Review Committee.

All homes shall have the following:

- Dimensional shingles;
- All siding shall be cement fiber board;
- Minimum roof overhang of eleven inches on all sides of a house as measured from the exterior wall material to the fascia board;
- All two-story homes shall contain a minimum of two (2) windows on all four sides with the exception of a façade facing a public street which shall contain a minimum of three (3) windows. The plans submitted at the time of building permit will identify the included windows meeting the above standard;
- Unless adjacent to brick or stone wrap, all side and rear windows shall have a minimum nominal one inch by six inch wood wrap;
- All homes shall contain a minimum of a two car garage with a minimum width or depth of twenty-two feet. If the base home garage shown on the prints does not meet this requirement, a side or front extension will be identified on the prints submitted at the time of building permit.
- Front-loading garages shall contain a decorative garage door;

The omission of any specific architectural requirements from the above list is not intended to waive any obligations by Lennar to meet the Architectural Standards approved as part of Ordinance No.

101017B. This letter is intended to be a supplement to the specific architectural drawings submitted by Lennar to the Architectural Review Committee as further clarification.

Sincerely,

A handwritten signature in black ink that reads "Ty Rinehart". The signature is written in a cursive style with a prominent horizontal line under the first letter of the first name.

Ty Rinehart  
Land Acquisition Manager  
Lennar Homes of Indiana

Cornerstone Collection | Spencer



**Elevation C**



**Elevation B**



**Elevation D**



**Elevation E**

## Cornerstone Collection | Spencer



**EXTERIOR TRIM KEY**

- ① VINYL CORNER
- ② 1x4
- ③ 1x6
- ④ 1x8
- ⑤ 1x10
- ⑥ 1x12

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

**NOTE:**

SIDES AND REAR WINDOW GRIDS, WHEN REQUIRED BY COMMUNITY, SHALL MATCH THOSE OF FRONT ELEVATION

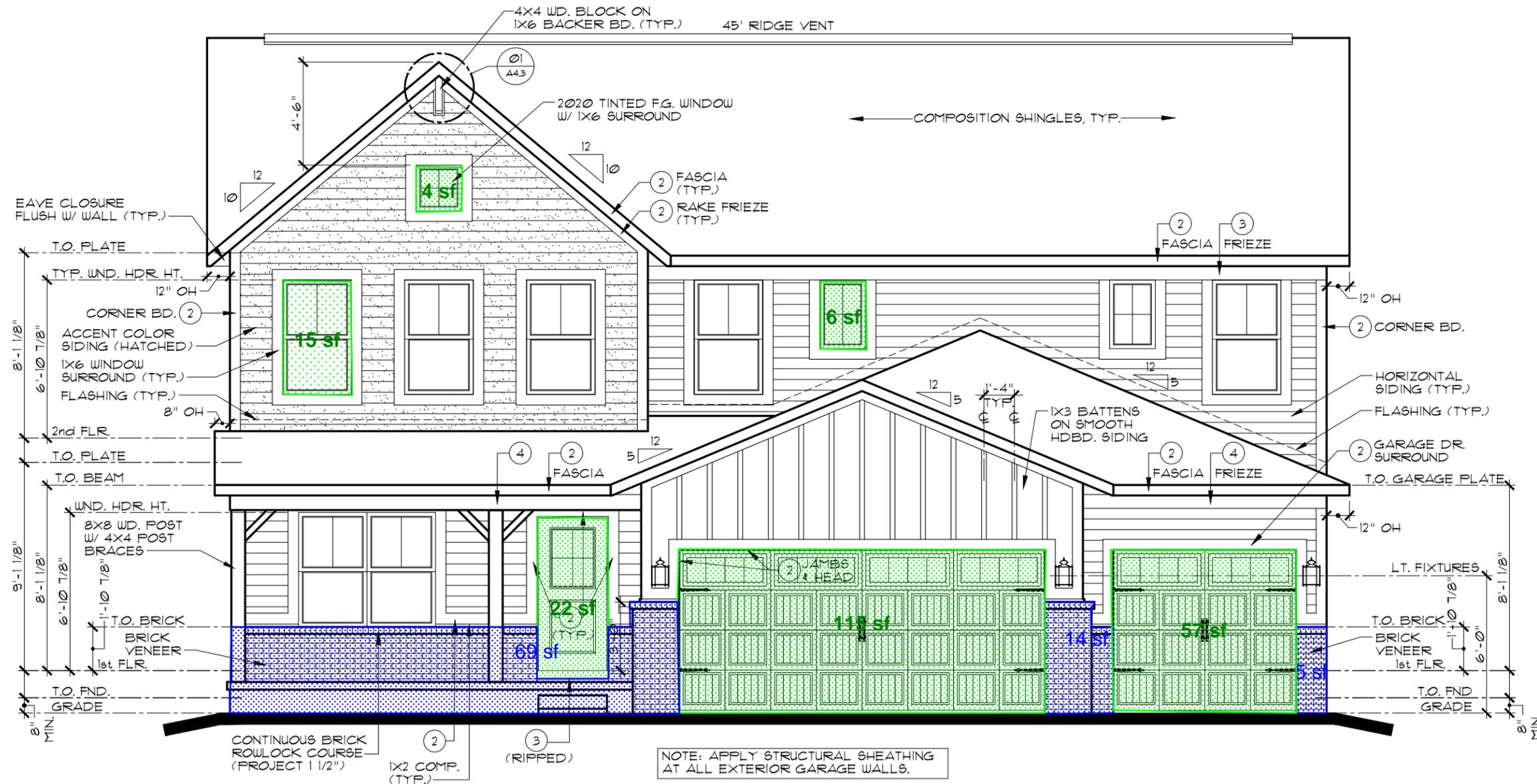
**NOTE:**

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.

**NOTE:**

STEEL LINTELS AND MASONRY CONSTRUCTION ABOVE GARAGE DOORS SHALL COMPLY WITH THE 2020 INDIANA RESIDENTIAL CODE, SECTION R 103.8.3

Masonry = 30" masonry wainscot



**FRONT ELEVATION B**

SCALE: 3/16" = 1'-0"

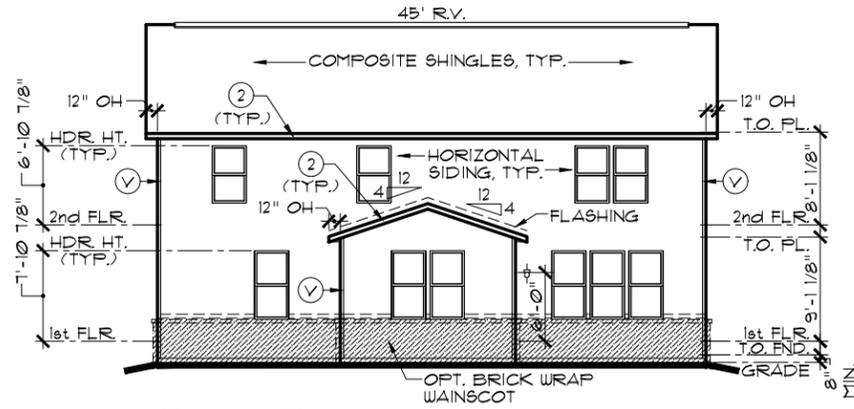
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1	TBD	FULL RELEASE
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MODEL	SET NO.	DRAWN BY	COLLECTION
SPENCER B	976950	DAR	CORNERSTONE

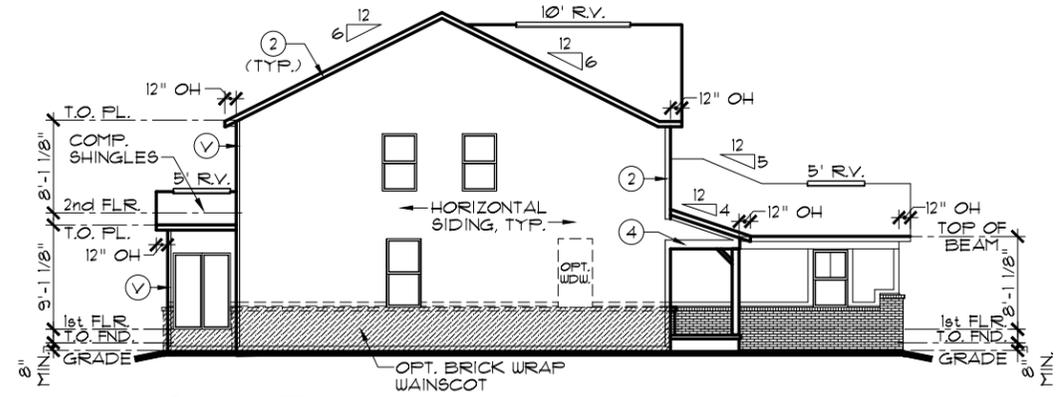
DRAWING TITLE	OPTION DESCRIPTION
FRONT ELEVATION	

SHEET NO. **A1.1B**



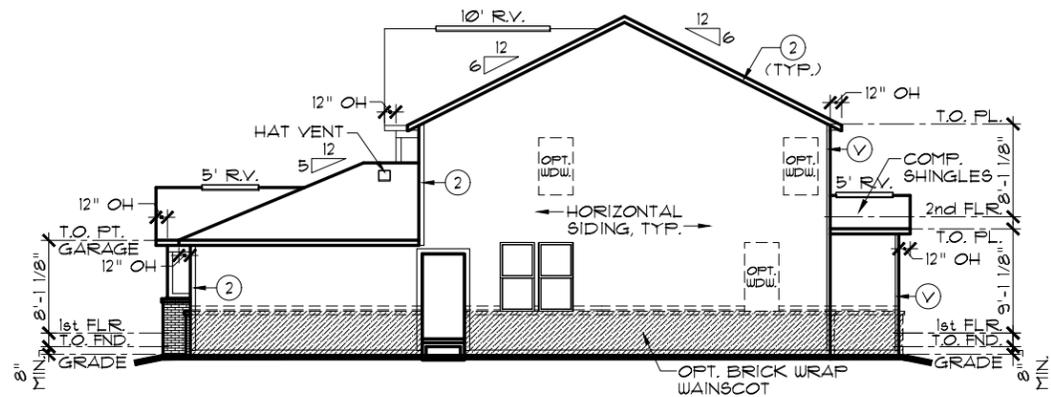
**REAR ELEVATION**

SCALE: 1/16" = 1'-0"



**LEFT ELEVATION**

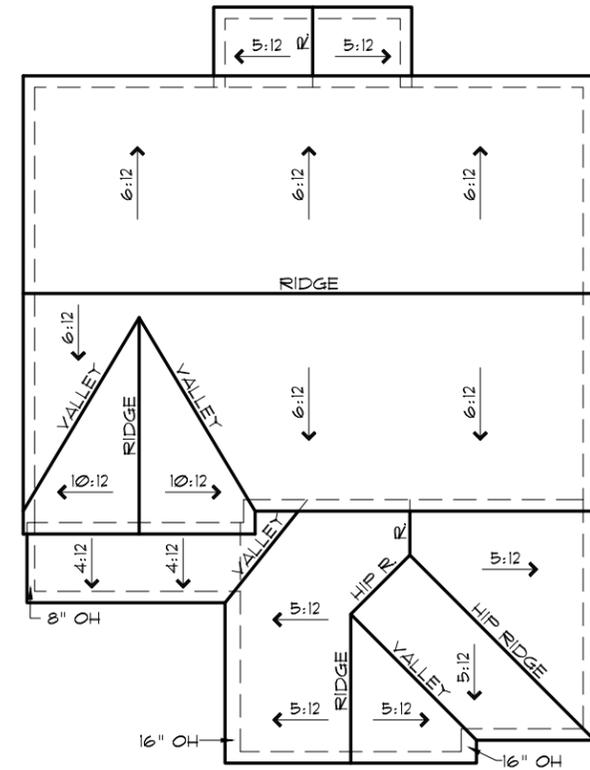
SCALE: 1/16" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/16" = 1'-0"

NOTE: ALL OVERHANGS TO BE 12" EXCEPT AS NOTED.



**ROOF PLAN B**

SCALE: 1/16" = 1'-0"

**EXTERIOR TRIM KEY**

- ⊕ VINYL CORNER
- ① 1 x 4
- ② 1 x 6
- ③ 1 x 8
- ④ 1 x 10
- ⑤ 1 x 12

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

**NOTE:**

SIDES AND REAR WINDOW GRIDS, WHEN REQUIRED BY COMMUNITY, SHALL MATCH THOSE OF FRONT ELEVATION

**NOTE:**

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.

INDIANAPOLIS DIVISION



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LENNAR®	MODEL	SET NO.	DRAWN BY	COLLECTION
	SPENCER B	9769B0	DAR	CORNERSTONE
DRAWING TITLE		OPTION DESCRIPTION		
SIDE, REAR ELEVATIONS				

SHEET NO.

A1.2B

Primary facade = 756 s.f.  
 Windows and doors = 316 s.f.  
 Masonry = 194 s.f.  
**Masonry Percentage 44%**

**EXTERIOR TRIM KEY**

- ① VINYL CORNER
- ② 1x4
- ③ 1x6
- ④ 1x8
- ⑤ 1x10
- ⑥ 1x12

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

**NOTE:**

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**NOTE:**

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.

**NOTE:**

STEEL LINTELS AND MASONRY CONSTRUCTION ABOVE GARAGE DOORS SHALL COMPLY WITH THE 2020 INDIANA RESIDENTIAL CODE, SECTION R 103.8.3

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**EVERYTHING'S INCLUDED®**

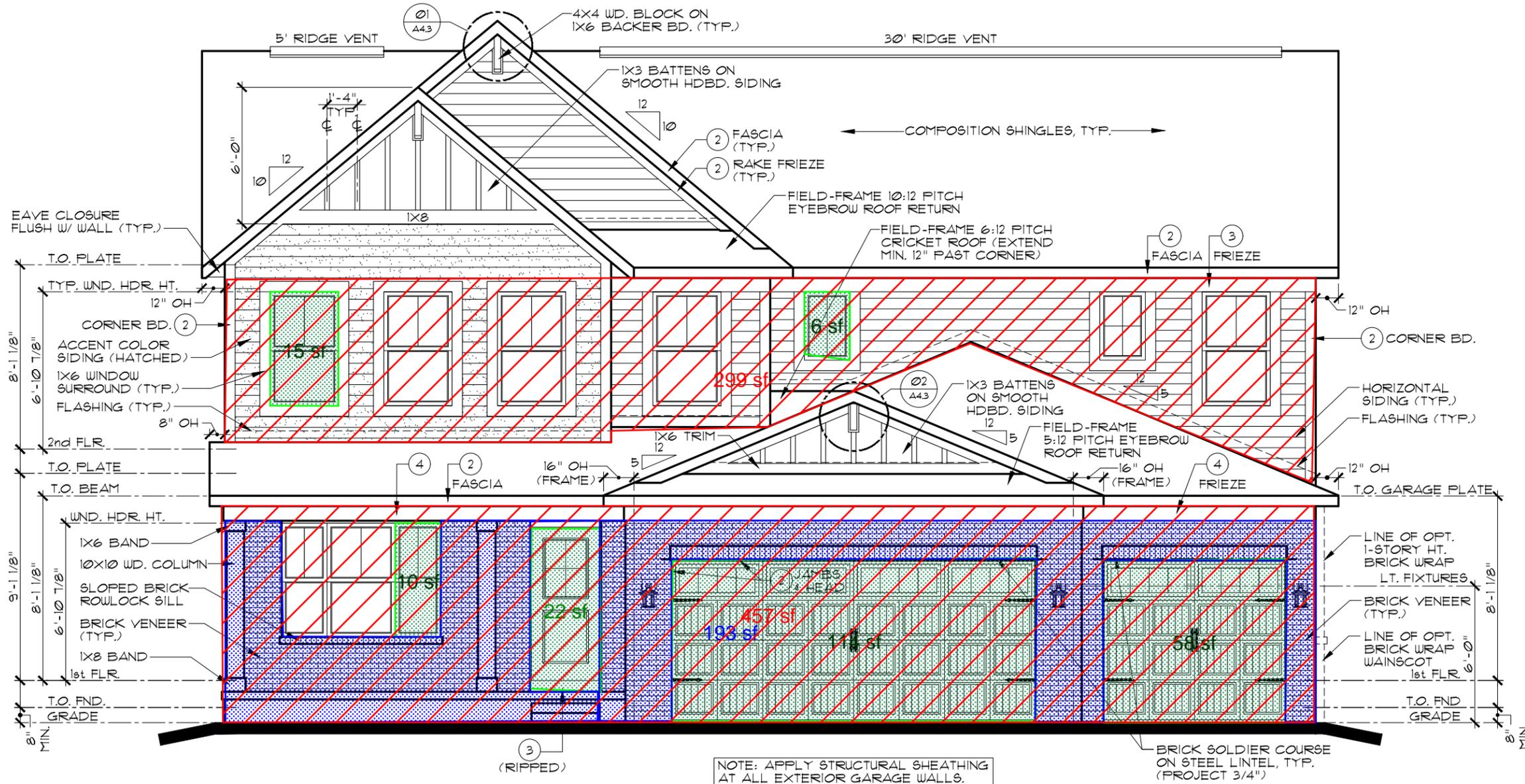
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SET NO.	9769CO	DRAWN BY	DAR	COLLECTION	CORNERSTONE
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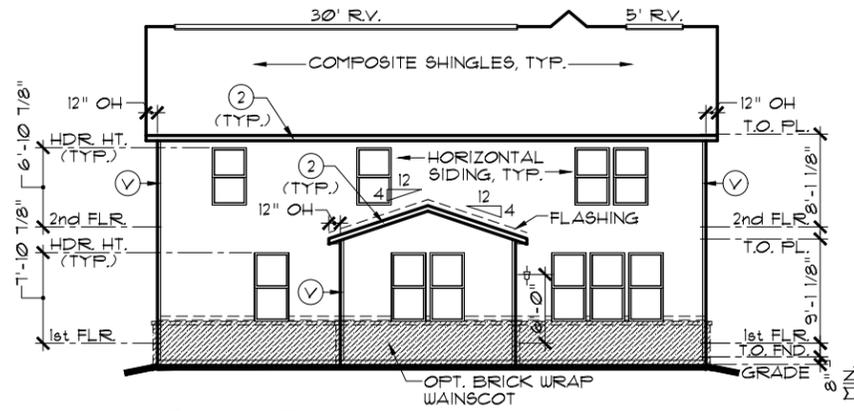
LENNAR®	SPENCER C	FRONT ELEVATION
MODEL	DRAWING TITLE	OPTION DESCRIPTION

SHEET NO.  
**A1.1C**



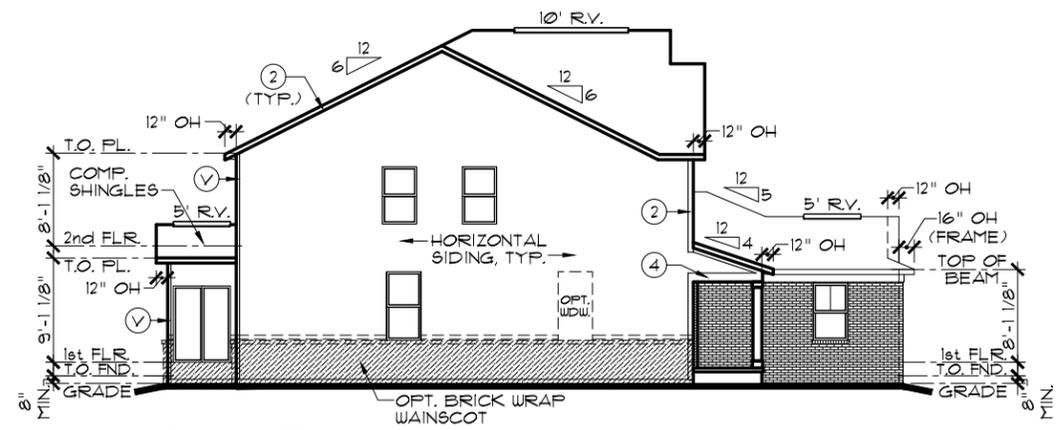
**FRONT ELEVATION C**

SCALE: 3/16" = 1'-0"



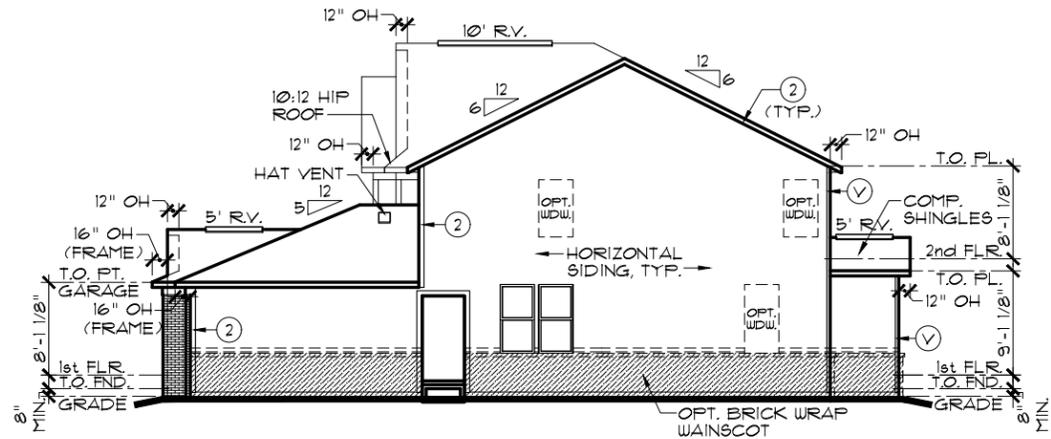
**REAR ELEVATION**

SCALE: 1/16" = 1'-0"



**LEFT ELEVATION**

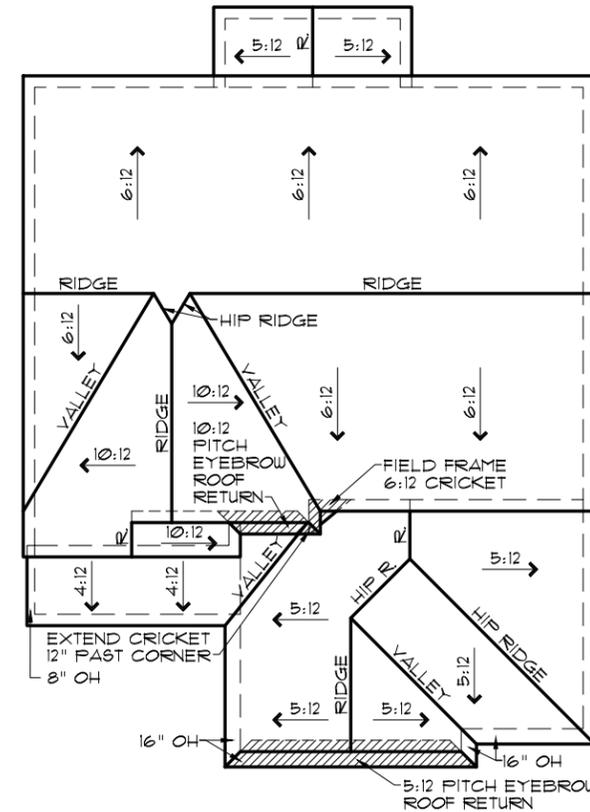
SCALE: 1/16" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/16" = 1'-0"

NOTE: ALL OVERHANGS TO BE 12" EXCEPT AS NOTED.



**ROOF PLAN C**

SCALE: 1/16" = 1'-0"

**EXTERIOR TRIM KEY**

- ⊕ VINYL CORNER      ③ 1 x 8
- ① 1 x 4                ④ 1 x 10
- ② 1 x 6                ⑤ 1 x 12

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

**NOTE:**

SIDES AND REAR WINDOW GRIDS, WHEN REQUIRED BY COMMUNITY, SHALL MATCH THOSE OF FRONT ELEVATION

**NOTE:**

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.

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REMARKS					
DATE	10/20/20				
REV. NO.	1	2	3	4	5

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LENNAR®	MODEL	SPENCER C	DRAWING TITLE	SIDE, REAR ELEVATIONS
	SET NO.	9769CO	DRAWN BY	DAR
			COLLECTION	CORNERSTONE
			OPTION DESCRIPTION	

SHEET NO.

**A1.2C**

Primary facade = 764 s.f.  
 Windows and doors = 308 s.f.  
 Masonry = 201 s.f.  
 Masonry Percentage 44%

**EXTERIOR TRIM KEY**

- ① VINYL CORNER
- ② 1x4
- ③ 1x6
- ④ 1x8
- ⑤ 1x10
- ⑥ 1x12

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

**NOTE:**

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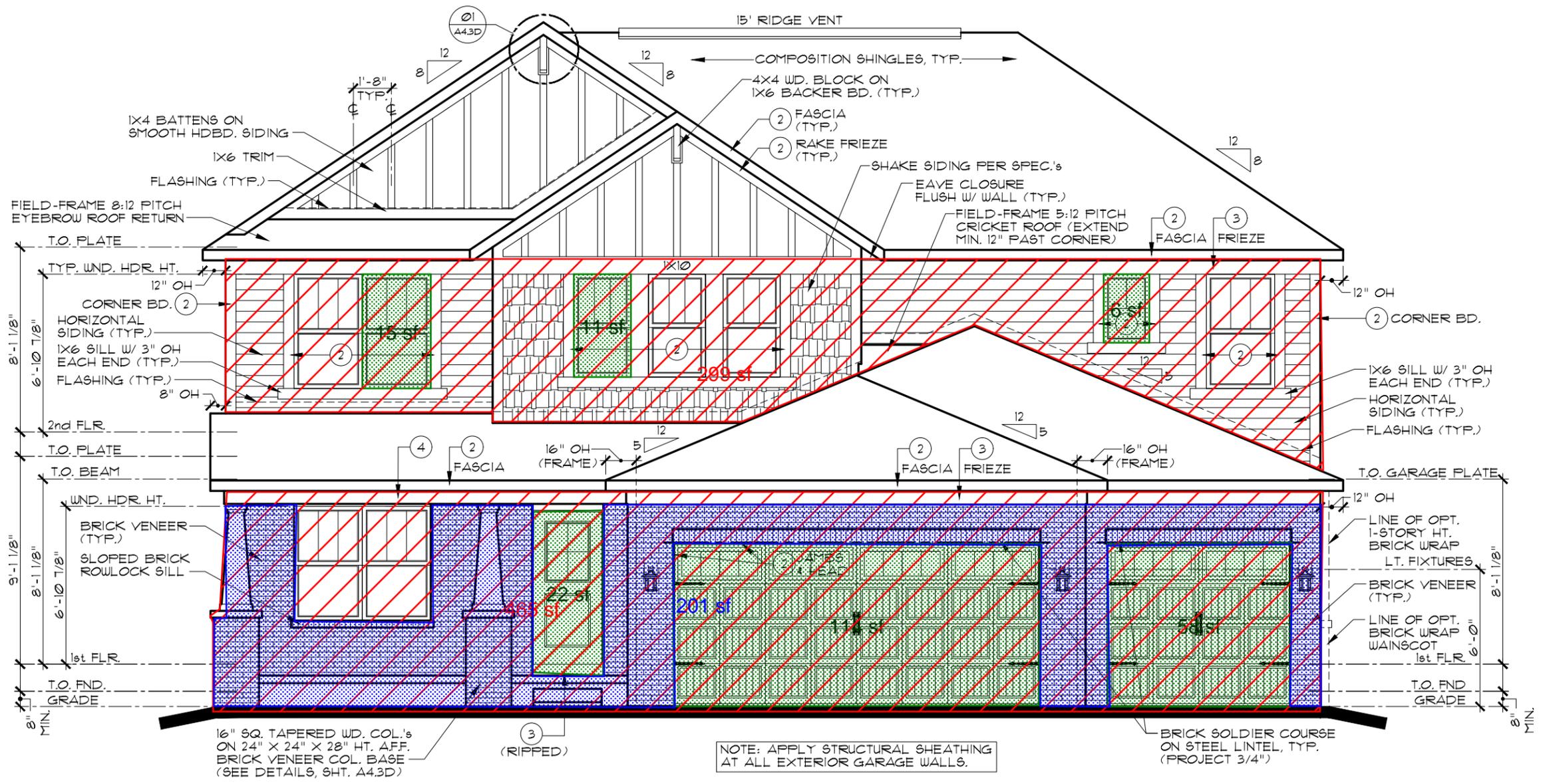
**NOTE:**

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.

**NOTE:**

STEEL LINTELS AND MASONRY CONSTRUCTION ABOVE GARAGE DOORS SHALL COMPLY WITH THE 2020 INDIANA RESIDENTIAL CODE, SECTION R 703.8.3

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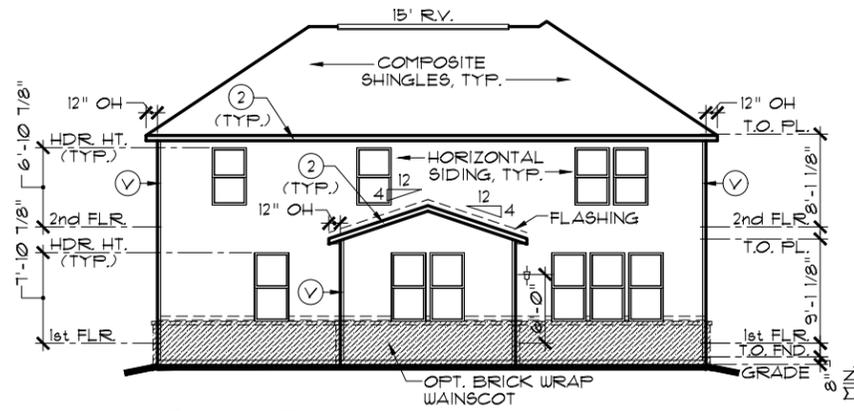
MODEL	SET NO.	DRAWN BY	COLLECTION
SPENCER D	9769DD	DAR	CORNERSTONE

DRAWING TITLE	OPTION DESCRIPTION
FRONT ELEVATION	

**FRONT ELEVATION D**

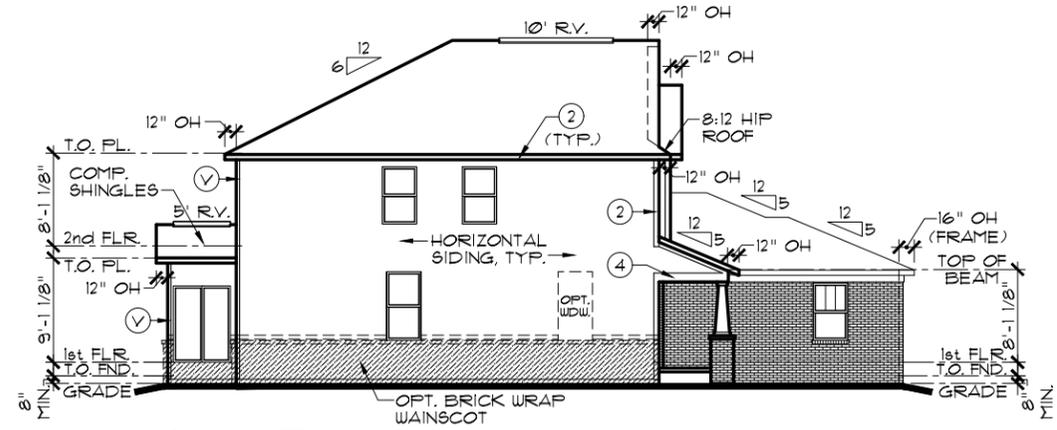
SCALE: 3/16" = 1'-0"

SHEET NO. **A1.1D**



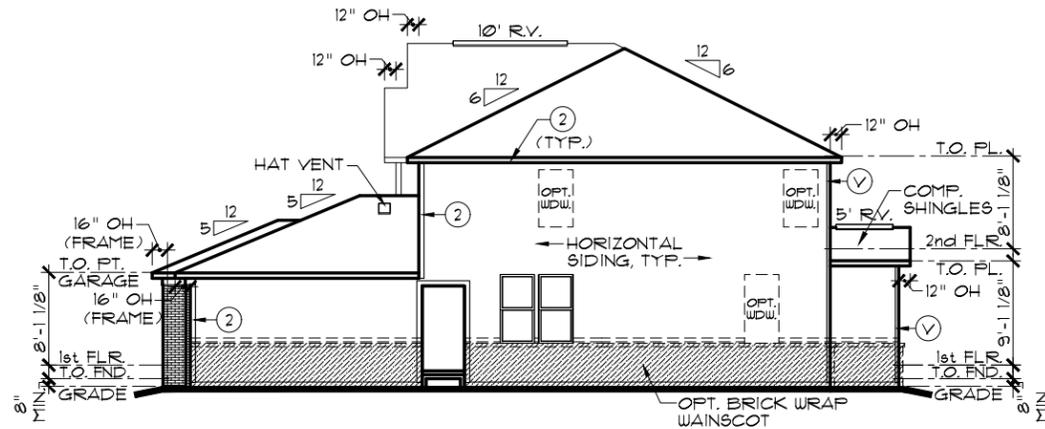
**REAR ELEVATION**

SCALE: 1/16" = 1'-0"



**LEFT ELEVATION**

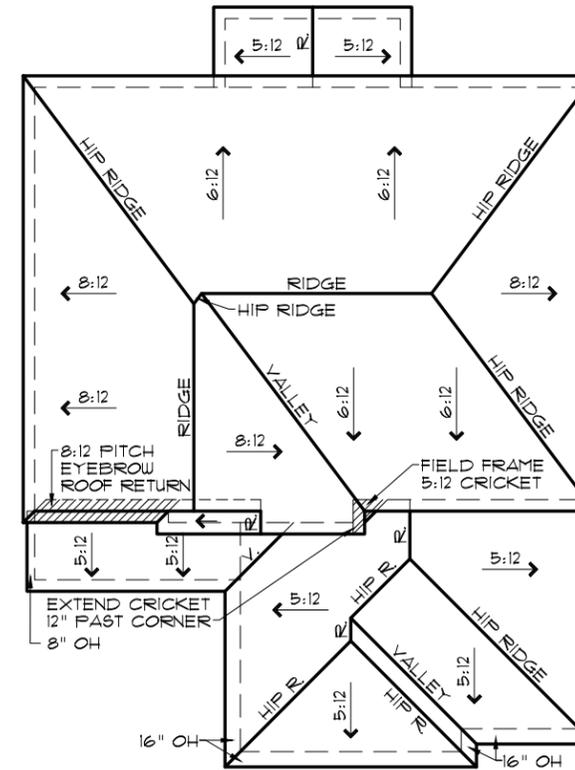
SCALE: 1/16" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/16" = 1'-0"

NOTE: ALL OVERHANGS TO BE 12" EXCEPT AS NOTED.



**ROOF PLAN D**

SCALE: 1/16" = 1'-0"

**EXTERIOR TRIM KEY**

- ⊕ VINYL CORNER
- ① 1 x 4
- ② 1 x 6
- ③ 1 x 8
- ④ 1 x 10
- ⑤ 1 x 12

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

**NOTE:**

SIDES AND REAR WINDOW GRIDS, WHEN REQUIRED BY COMMUNITY, SHALL MATCH THOSE OF FRONT ELEVATION

**NOTE:**

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.

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<b>LENNAR®</b>	SET NO.	9769DD0
	MODEL	SPENCER D
DRAWING TITLE	SIDE, REAR ELEVATIONS	
DRAWN BY	DAR	
COLLECTION	CORNERSTONE	
OPTION DESCRIPTION		

SHEET NO.

**A1.2D**

Primary facade = 811 s.f.  
 Windows and doors = 301 s.f.  
 Masonry = 251s.f.  
**Masonry Percentage 49%**

**EXTERIOR TRIM KEY**

- ① VINYL CORNER
- ② 1x4
- ③ 1x6
- ④ 1x8
- ⑤ 1x10
- ⑥ 1x12

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

**NOTE:**

SIDES AND REAR WINDOW GRIDS, WHEN REQUIRED BY COMMUNITY, SHALL MATCH THOSE OF FRONT ELEVATION

**NOTE:**

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.

**NOTE:**

STEEL LINTELS AND MASONRY CONSTRUCTION ABOVE GARAGE DOORS SHALL COMPLY WITH THE 2020 INDIANA RESIDENTIAL CODE, SECTION R 103.8.3

INDIANAPOLIS DIVISION



**EVERYTHING'S INCLUDED®**

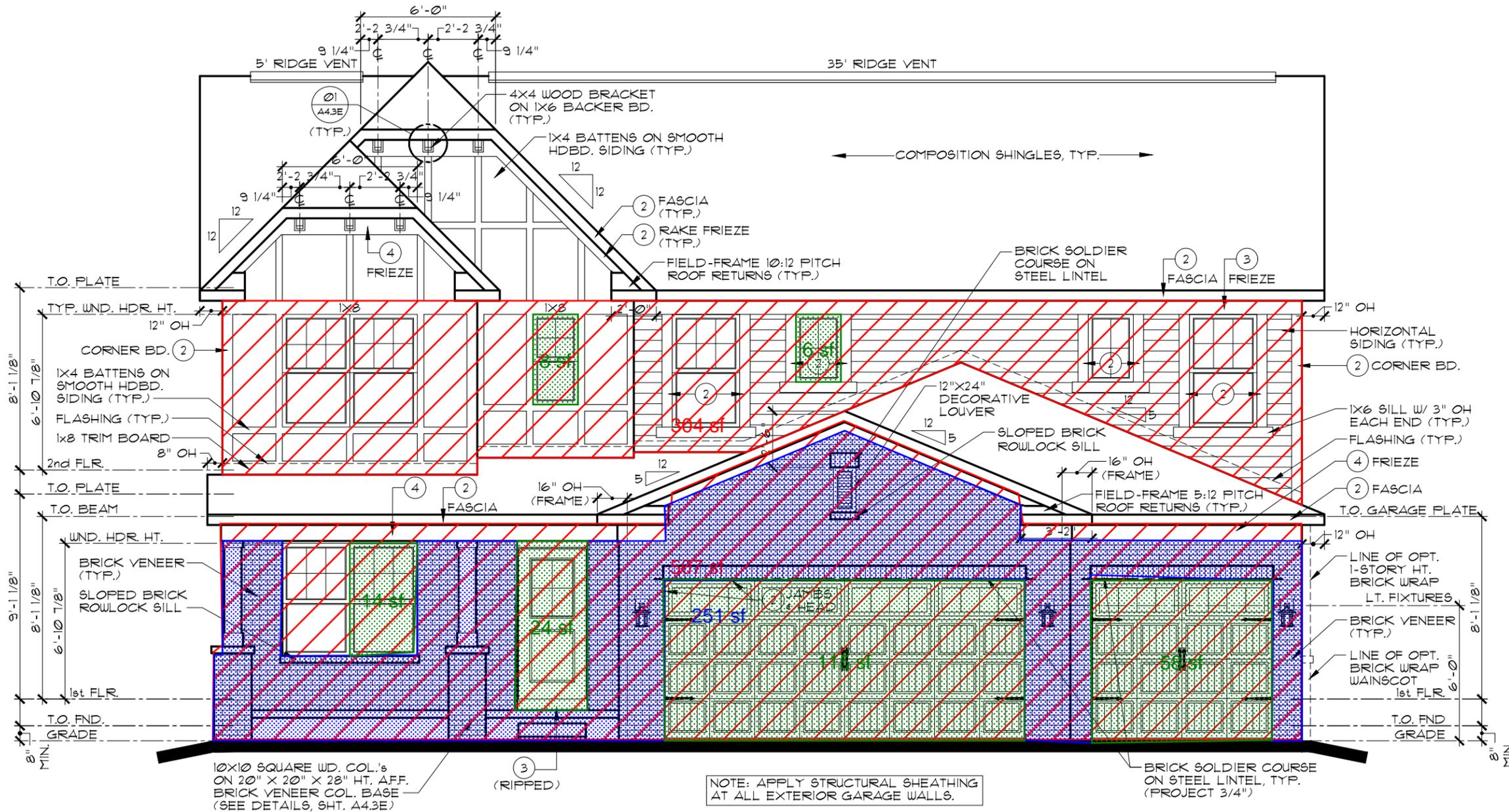
REV. NO.	DATE	REMARKS
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MODEL	SET NO.	DRAWN BY	COLLECTION	CORNERSTONE
SPENCER E	9769E0	DAR		

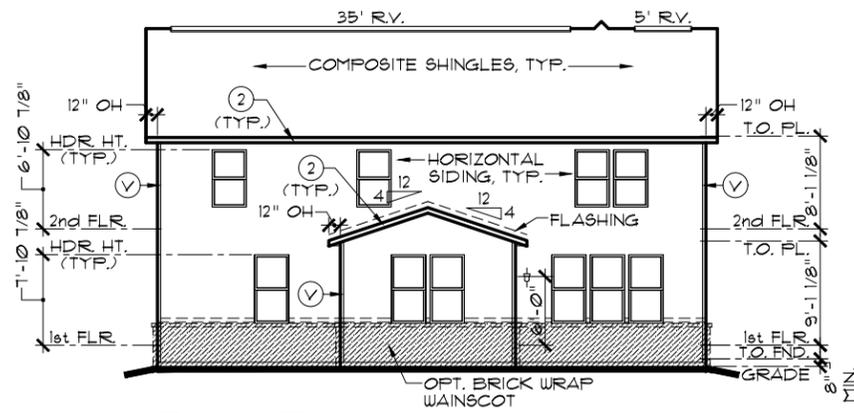
LENNAR®	SPENCER E	DRAWING TITLE	FRONT ELEVATION	OPTION DESCRIPTION
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SHEET NO. **A1.1E**



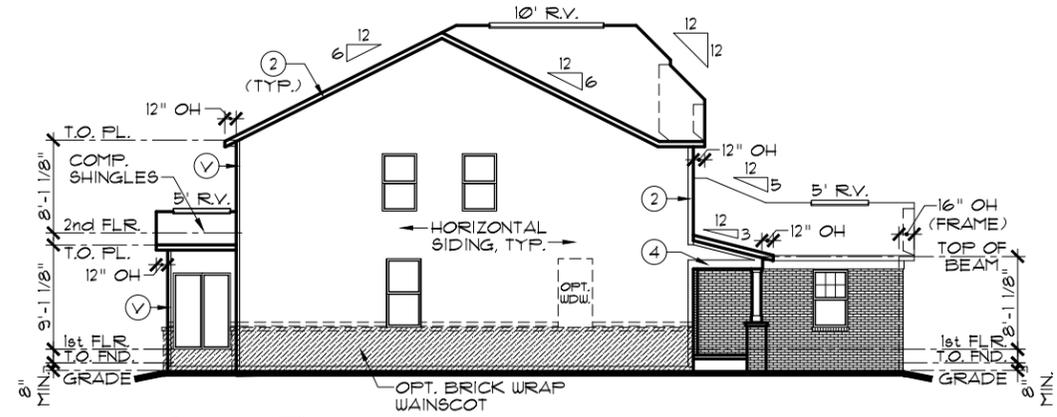
**FRONT ELEVATION E**

SCALE: 3/16" = 1'-0"



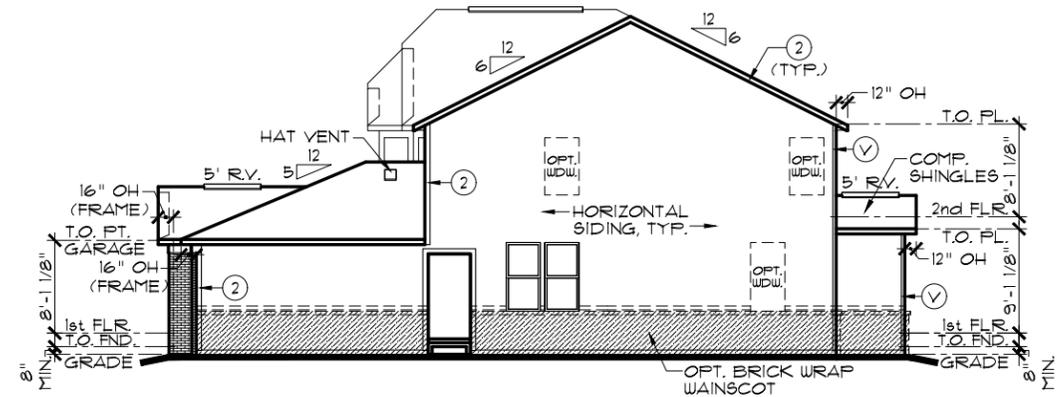
**REAR ELEVATION**

SCALE: 1/16" = 1'-0"



**LEFT ELEVATION**

SCALE: 1/16" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/16" = 1'-0"

**EXTERIOR TRIM KEY**

- ⊕ VINYL CORNER
- ① 1 x 4
- ② 1 x 6
- ③ 1 x 8
- ④ 1 x 10
- ⑤ 1 x 12

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

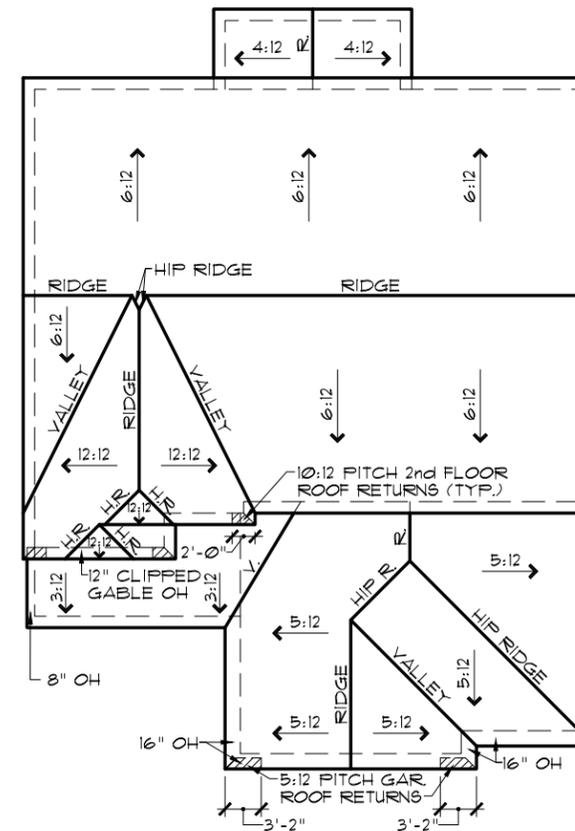
**NOTE:**

SIDES AND REAR WINDOW GRIDS, WHEN REQUIRED BY COMMUNITY, SHALL MATCH THOSE OF FRONT ELEVATION

**NOTE:**

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.

NOTE: ALL OVERHANGS TO BE 12" EXCEPT AS NOTED.



**ROOF PLAN E**

SCALE: 1/16" = 1'-0"

INDIANAPOLIS DIVISION



EVERYTHING'S INCLUDED®

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LENNAR®	MODEL	SPENCER E
	DRAWING TITLE	SIDE, REAR ELEVATIONS
SET NO.	976950	DRAWN BY
		DAR
		COLLECTION
		CORNERSTONE
		OPTION DESCRIPTION

SHEET NO.

**A1.2E**



**NOTE:**  
 HATCHED WALL INDICATES INTERIOR LD.-BRG. WALL WITH STUDS @ 16" O.C. AND DOUBLE TOP PLATE, TYP.  
 ALL LOAD-BEARING HEADERS TO BE 2-2X6 W/ 1/2" PLYWD. FILLER and (2) 2X JACK STUDS EACH END, EXCEPT AS NOTED  
 DOUBLE AND TRIPLE NON-MULLED WINDOWS TO HAVE 2-2X6 HEADER W/ (2) 2X4 JACK EACH END AND (3) 2X4 JACKS BETWEEN INTERMEDIATE WINDOWS

**GENERAL NOTES:**

1. ALL WINDOW HEADERS HEIGHTS TO BE 7'-10 7/8" HT. UNLESS NOTED OTHERWISE.
2. 1ST FLOOR WALL HT. TO BE 9'-1 1/8", EXCEPT WHERE NOTED OTHERWISE.
3. ALL INTERIOR ROUGH OPENINGS TO BE 7'-10 7/8" HT. UNLESS NOTED OTHERWISE.
4. LOCATION OF DRAWERS IN VANITIES SHOWN HATCHED.

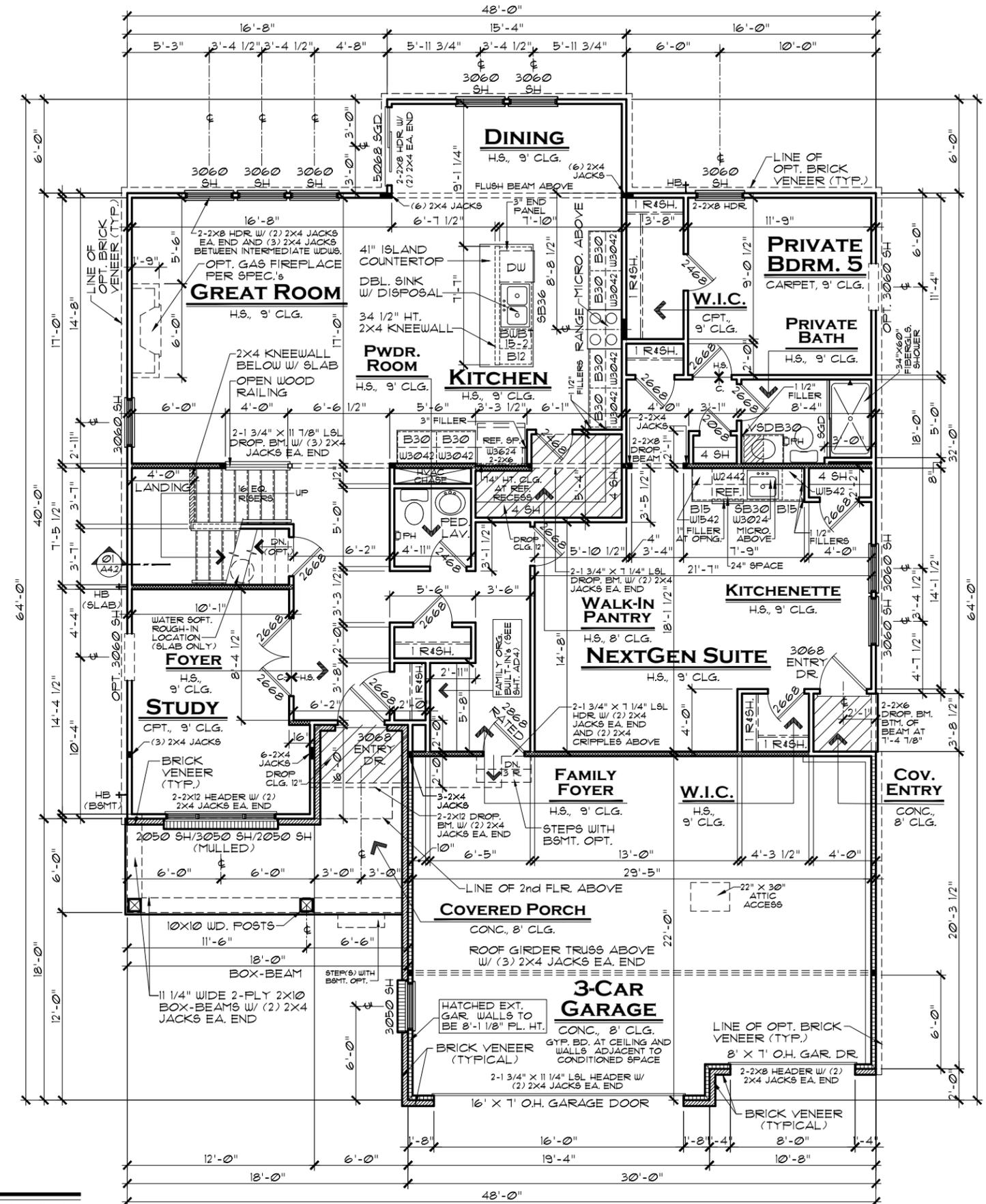
**AREA TABULATION**

1st FLOOR LIVING AREA:	1,840 S.F.
2nd FLOOR LIVING AREA:	1,733 S.F.
TOTAL LIVING AREA:	3,573 S.F.
GARAGE:	640 S.F.
COVERED ENTRY PORCH:	144 S.F.
PRIVATE COVERED ENTRY:	15 S.F.
TOTAL UNDER ROOF:	4,312 S.F.

COVERED PATIO OPTION ADDS 169 SF UNCONDITIONED LIVING SPACE.  
 CARRIAGE GARAGE ADDS 240 SF

# FIRST FLOOR PLAN C

SCALE: 1/8" = 1'-0"



REVISIONS	REMARKS
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<b>LENNAR</b>	SET NO.	9769C0
	DRAWN BY	SAM
MODEL	SPENCER C	
DRAWING TITLE	1ST FLOOR PLAN	
OPTION DESCRIPTION	CORNERSTONE	

SHEET NO. **A3.1C**

**NOTE:**  
 HATCHED WALL INDICATES INTERIOR LD.-BRG. WALL WITH STUDS @ 16" O.C. AND DOUBLE TOP PLATE, TYP.  
 ALL LOAD-BEARING HEADERS TO BE 2-2X6 W/ 1/2" PLYWD. FILLER and (2) 2X4 JACK STUDS EACH END, EXCEPT AS NOTED  
 DOUBLE AND TRIPLE NON-MULLED WINDOWS TO HAVE 2-2X6 HEADER W/ (2) 2X4 JACK EACH END AND (3) 2X4 JACKS BETWEEN INTERMEDIATE WINDOWS

**GENERAL NOTES:**

1. ALL WINDOW HEADERS HEIGHTS TO BE 1'-10 7/8" HT. UNLESS NOTED OTHERWISE.
2. 1ST FLOOR WALL HT. TO BE 9'-1 1/8", EXCEPT WHERE NOTED OTHERWISE.
3. ALL INTERIOR ROUGH OPENINGS TO BE 1'-10 7/8" HT. UNLESS NOTED OTHERWISE.
4. LOCATION OF DRAWERS IN VANITIES SHOWN HATCHED.

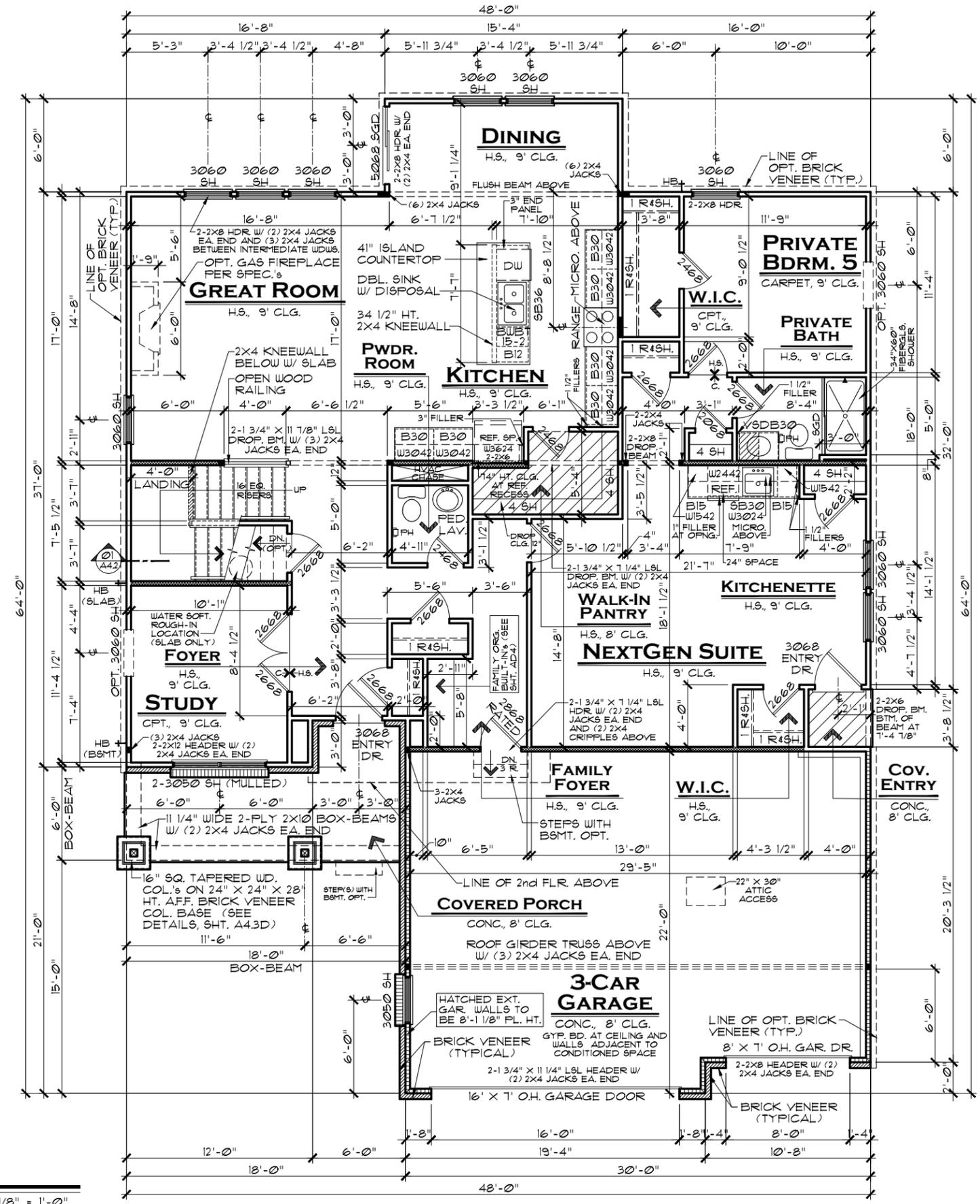
**AREA TABULATION**

1st FLOOR LIVING AREA:	1,804 S.F.
2nd FLOOR LIVING AREA:	1,695 S.F.
TOTAL LIVING AREA:	3,499 S.F.
GARAGE:	640 S.F.
COVERED ENTRY PORCH:	126 S.F.
PRIVATE COVERED ENTRY:	15 S.F.
TOTAL UNDER ROOF:	4,280 S.F.

COVERED PATIO OPTION ADDS 169 SF UNCONDITIONED LIVING SPACE.  
 CARRIAGE GARAGE ADDS 240 SF

# FIRST FLOOR PLAN D

SCALE: 1/8" = 1'-0"

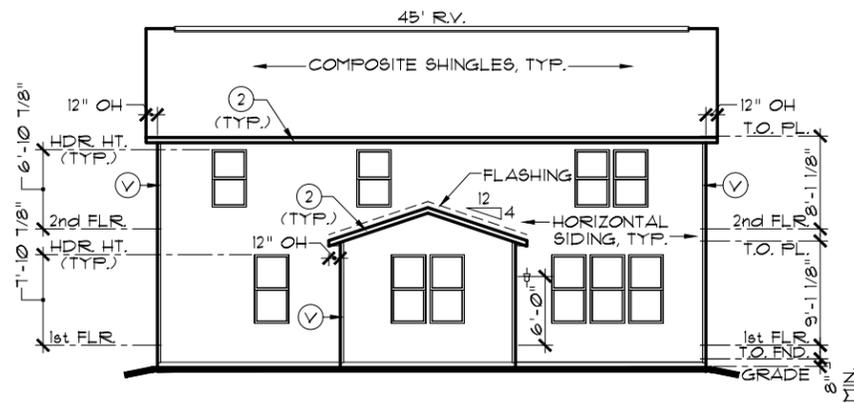


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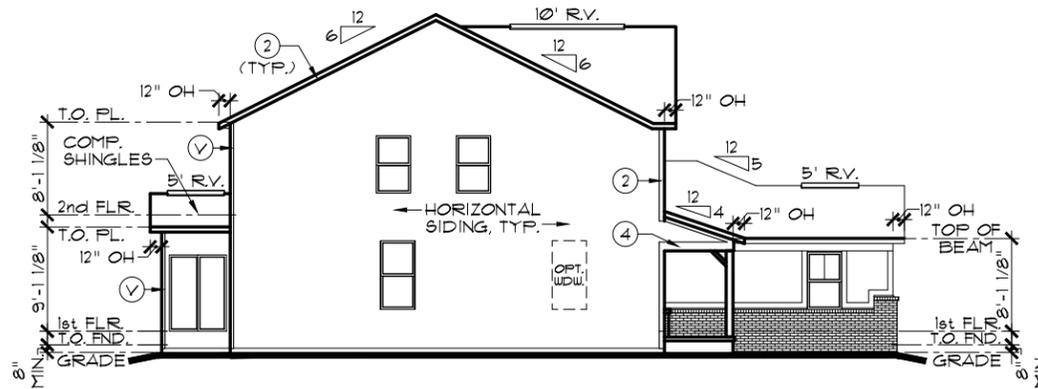
<b>LENNAR®</b>	SET NO.	9769DD0
	DRAWN BY	SAM
MODEL	SPENCER D	
DRAWING TITLE	1ST FLOOR PLAN	
OPTION DESCRIPTION	CORNERSTONE	

SHEET NO.  
**A3.1D**



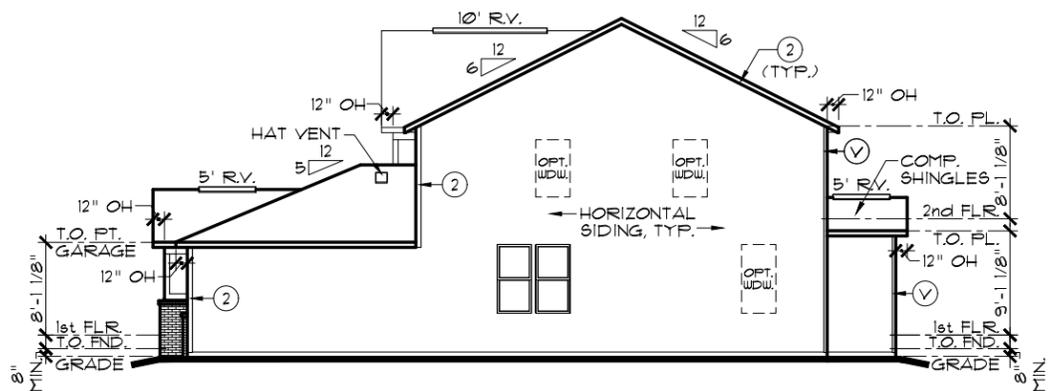
**REAR ELEVATION**

SCALE: 1/16" = 1'-0"



**LEFT ELEVATION**

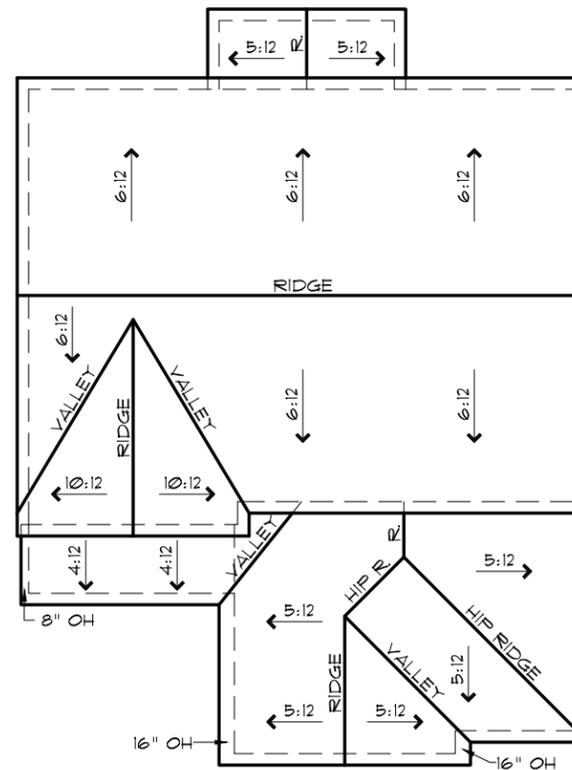
SCALE: 1/16" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/16" = 1'-0"

NOTE: ALL OVERHANGS TO BE 12" EXCEPT AS NOTED.



**ROOF PLAN B**

SCALE: 1/16" = 1'-0"

**EXTERIOR TRIM KEY**

- (V) VINYL CORNER
- (1) 1 x 4
- (2) 1 x 6
- (3) 1 x 8
- (4) 1 x 10
- (5) 1 x 12

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

**NOTE:**

SIDES AND REAR WINDOW GRIDS, WHEN REQUIRED BY COMMUNITY, SHALL MATCH THOSE OF FRONT ELEVATION

**NOTE:**

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.

INDIANAPOLIS DIVISION



REV. NO.	DATE	REMARKS
1	TBD	FULL RELEASE
2		
3		
4		
5		

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<b>LENNAR</b>	MODEL	SET NO.	DRAWN BY	COLLECTION
	<b>SPENCER B</b>	9769B0	DAR	CORNERSTONE
	DRAWING TITLE	OPTION DESCRIPTION		
	<b>SIDE, REAR ELEVATIONS</b>			

SHEET NO.

**A1.2B**

**NOTE:**  
 HATCHED WALL INDICATES INTERIOR LD.-BRG. WALL WITH STUDS @ 16" O.C. AND DOUBLE TOP PLATE, TYP.  
 ALL LOAD-BEARING HEADERS TO BE 2-2X6 W/ 1/2" PLYWD. FILLER and (2) 2X JACK STUDS EACH END, EXCEPT AS NOTED  
 DOUBLE AND TRIPLE NON-MULLED WINDOWS TO HAVE 2-2X6 HEADER W/ (2) 2X4 JACK EACH END AND (3) 2X4 JACKS BETWEEN INTERMEDIATE WINDOWS

**GENERAL NOTES:**

1. ALL WINDOW HEADERS HEIGHTS TO BE 7'-10 7/8" HT. UNLESS NOTED OTHERWISE.
2. 1ST FLOOR WALL HT. TO BE 9'-1 1/8", EXCEPT WHERE NOTED OTHERWISE.
3. ALL INTERIOR ROUGH OPENINGS TO BE 7'-10 7/8" HT. UNLESS NOTED OTHERWISE.
4. LOCATION OF DRAWERS IN VANITIES SHOWN HATCHED.

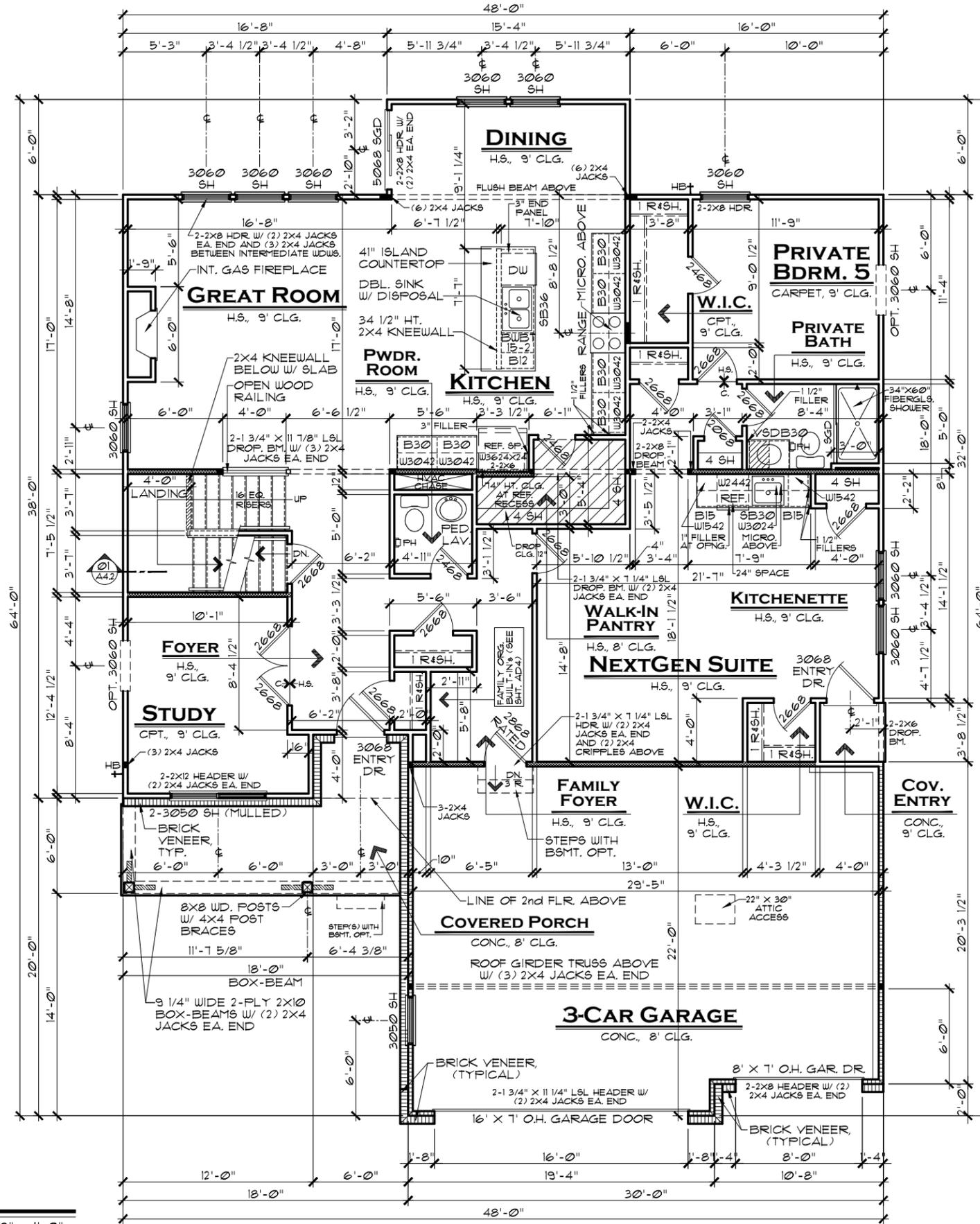
**AREA TABULATION**

1st FLOOR LIVING AREA:	1,816 S.F.
2nd FLOOR LIVING AREA:	1,687 S.F.
TOTAL LIVING AREA:	3,503 S.F.
GARAGE:	640 S.F.
COVERED ENTRY PORCH:	132 S.F.
PRIVATE COVERED ENTRY:	15 S.F.
TOTAL UNDER ROOF:	4,290 S.F.

COVERED PATIO OPTION ADDS 169 SF UNCONDITIONED LIVING SPACE.

# FIRST FLOOR PLAN B

SCALE: 1/8" = 1'-0"



INDIANAPOLIS DIVISION



REMARKS	
DATE	TBD
REV. NO.	1 2 3 4 5

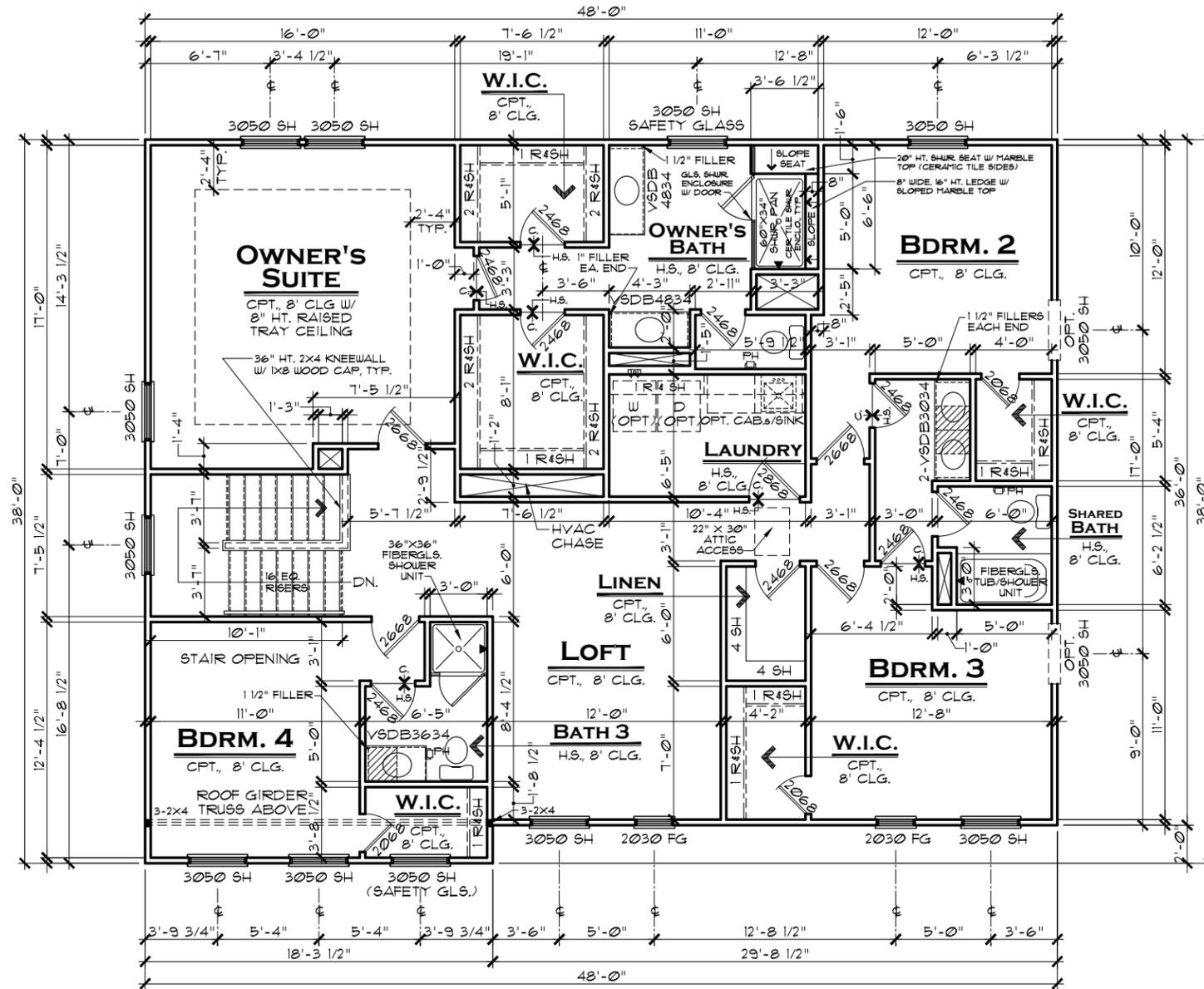
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SET NO.	976950
DRAWN BY	SAM
COLLECTION	CORNERSTONE

**LENNAR**  
 MODEL: SPENCER B  
 DRAWING TITLE: 1ST FLOOR PLAN  
 OPTION DESCRIPTION

SHEET NO.

**A3.1B**



**NOTE:**  
 WINDOW HEADERS:  
 2-2X6 W/ (1) 2X4 JACK EACH END TYP., UNLESS NOTED OTHERWISE  
 DOUBLE AND TRIPLE NON-MULLED WINDOWS TO HAVE 2-2X6 HEADER W/ (2) 2X4 JACK EACH END AND (3) 2X4 JACKS BETWEEN INTERMEDIATE WINDOWS

- GENERAL NOTES:**
1. ALL WINDOW HEADERS HEIGHTS TO BE 6'-10 1/8" HT. UNLESS NOTED OTHERWISE.
  2. 2ND FLOOR WALL HT. TO BE 8'-1 1/8", EXCEPT WHERE NOTED OTHERWISE.
  3. ALL INTERIOR ROUGH OPENINGS TO BE 6'-10 1/8" HT. UNLESS NOTED OTHERWISE.
  4. ALL TRAY CEILINGS RAISE 8" UP INTO TRUSSES UNLESS NOTED OTHERWISE.
  5. LOCATION OF DRAWERS IN VANITIES SHOWN HATCHED.

# SECOND FLOOR PLAN B

SCALE: 1/8" = 1'-0"

REV. NO.	DATE	REMARKS
1	TBD	FULL RELEASE
2		
3		
4		
5		

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<b>LENNAR</b>	SET NO.	9769B0
	MODEL	SPENCER B
	DRAWING TITLE	2ND FLOOR PLAN
	OPTION DESCRIPTION	CORNERSTONE
	DRAWN BY	SAM
	COLLECTION	CORNERSTONE

SHEET NO.  
**A3.2B**