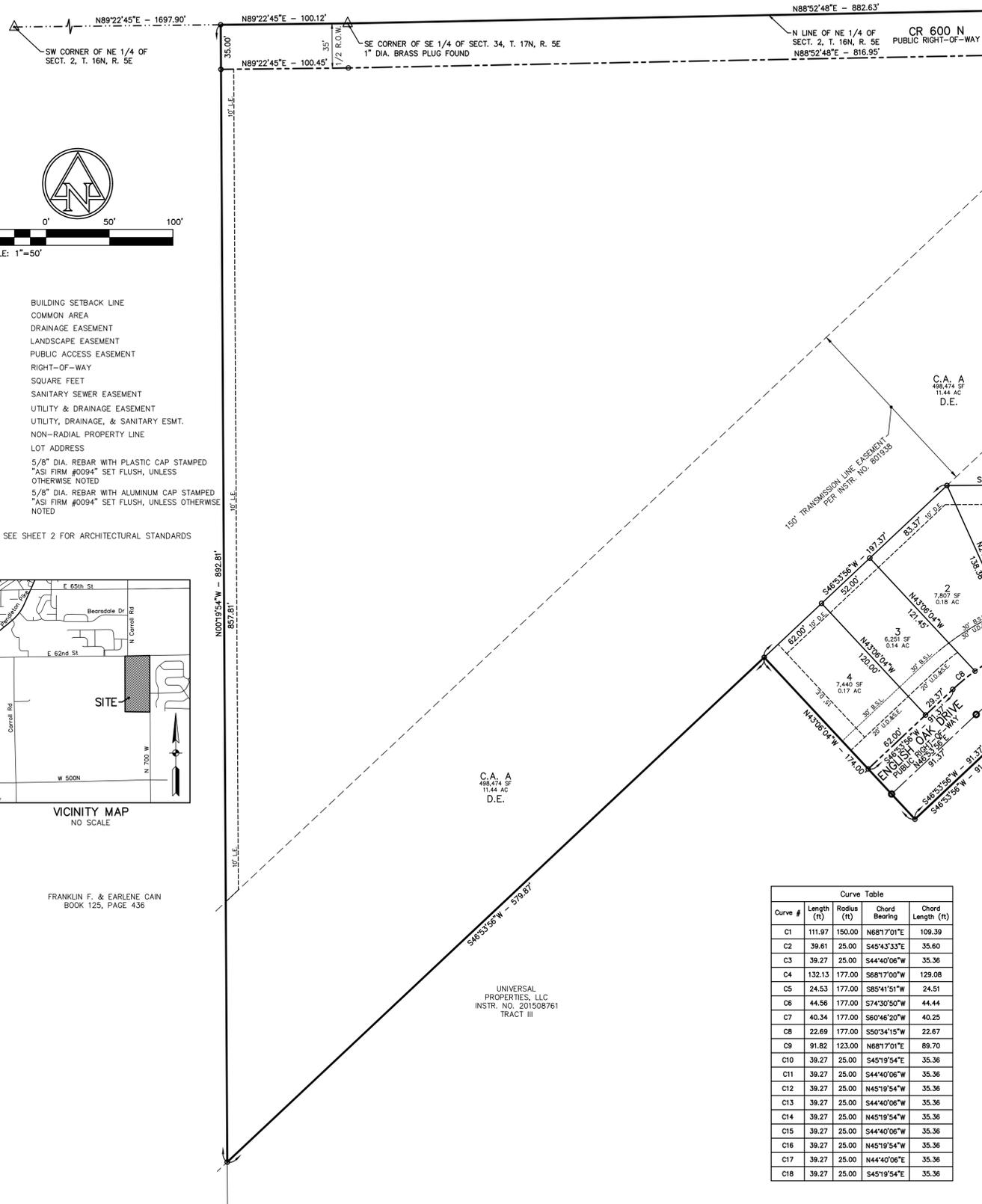


THE MEADOWS AT SAGEBROOK - SECTION 1 TOWN OF MCCORDSVILLE - SECONDARY PLAT HANCOCK COUNTY - INDIANA

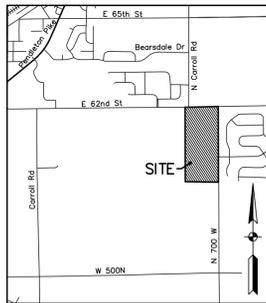
PART OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 16 NORTH, RANGE 5 EAST



LEGEND

- B.S.L. BUILDING SETBACK LINE
- C.A. COMMON AREA
- D.E. DRAINAGE EASEMENT
- L.E. LANDSCAPE EASEMENT
- P.A.E. PUBLIC ACCESS EASEMENT
- R.O.W. RIGHT-OF-WAY
- SF SQUARE FEET
- S.S.E. SANITARY SEWER EASEMENT
- U.&D.E. UTILITY & DRAINAGE EASEMENT
- U.D.&S.E. UTILITY, DRAINAGE, & SANITARY ESMT.
- (N.R.) NON-RADIAL PROPERTY LINE
- XXX LOT ADDRESS
- 5/8" DIA. REBAR WITH PLASTIC CAP STAMPED "ASI FIRM #0094" SET FLUSH, UNLESS OTHERWISE NOTED
- 5/8" DIA. REBAR WITH ALUMINUM CAP STAMPED "ASI FIRM #0094" SET FLUSH, UNLESS OTHERWISE NOTED

NOTE: SEE SHEET 2 FOR ARCHITECTURAL STANDARDS



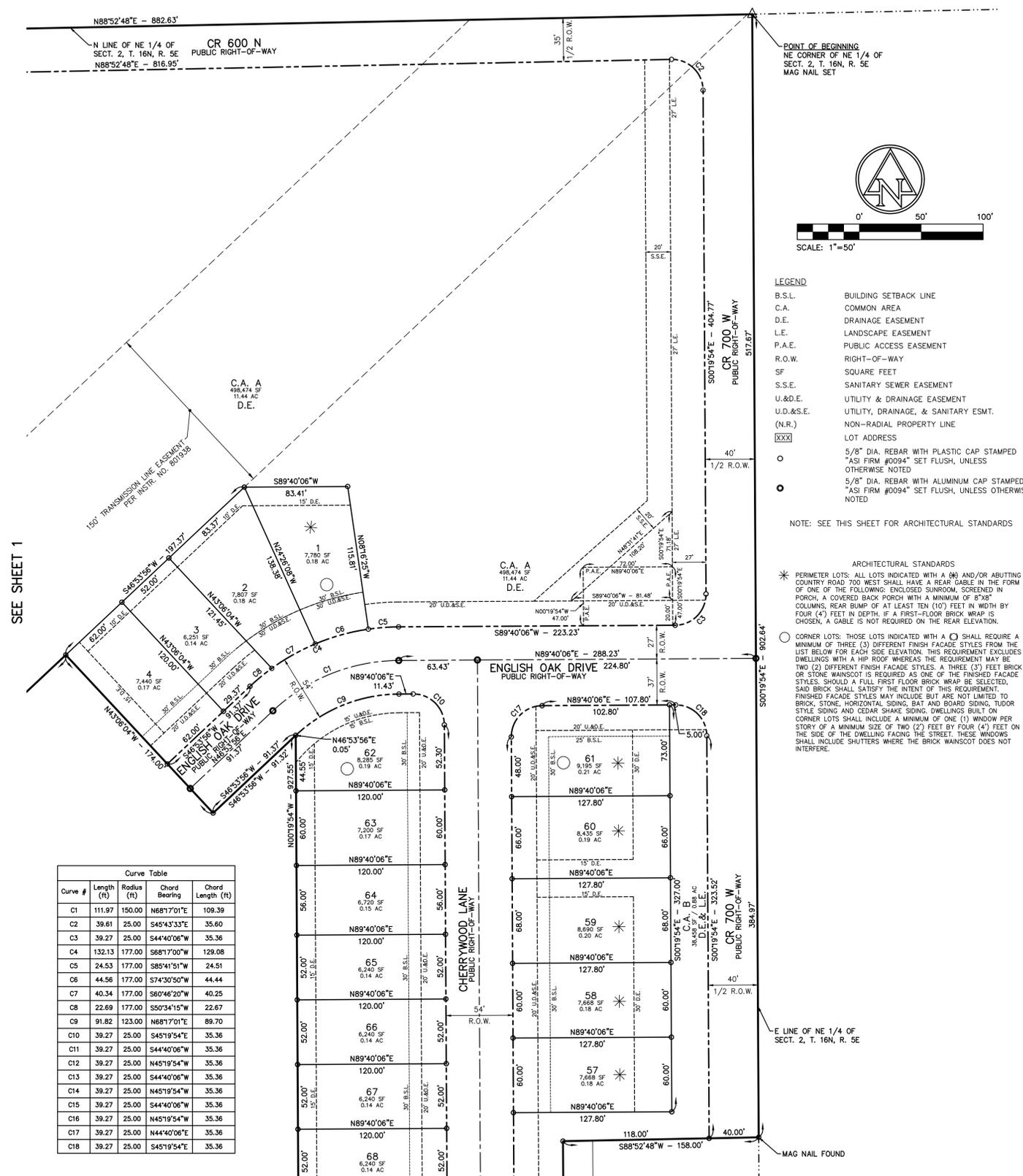
FRANKLIN F. & EARLENE CAIN
BOOK 125, PAGE 436

UNIVERSAL
PROPERTIES, LLC
INSTR. NO. 201508761
TRACT III

Curve #	Length (ft)	Radius (ft)	Chord Bearing	Chord Length (ft)
C1	111.97	150.00	N88°17'01"E	109.39
C2	39.61	25.00	S45°43'33"E	35.60
C3	39.27	25.00	S44°40'06"W	35.36
C4	132.13	177.00	S88°17'00"W	129.08
C5	24.53	177.00	S85°41'51"W	24.51
C6	44.56	177.00	S74°30'50"W	44.44
C7	40.34	177.00	S60°46'20"W	40.25
C8	22.69	177.00	S50°34'15"W	22.67
C9	91.82	123.00	N68°17'01"E	89.70
C10	39.27	25.00	S45°19'54"E	35.36
C11	39.27	25.00	S44°40'06"W	35.36
C12	39.27	25.00	N45°19'54"W	35.36
C13	39.27	25.00	S44°40'06"W	35.36
C14	39.27	25.00	N45°19'54"W	35.36
C15	39.27	25.00	S44°40'06"W	35.36
C16	39.27	25.00	N45°19'54"W	35.36
C17	39.27	25.00	N44°40'06"E	35.36
C18	39.27	25.00	S45°19'54"E	35.36

THE MEADOWS AT SAGEBROOK - SECTION 1 TOWN OF MCCORDSVILLE - SECONDARY PLAT HANCOCK COUNTY - INDIANA

PART OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 16 NORTH, RANGE 5 EAST



LEGEND

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NOTE: SEE THIS SHEET FOR ARCHITECTURAL STANDARDS

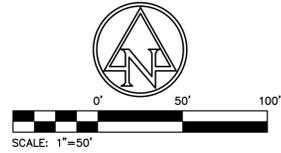
- ARCHITECTURAL STANDARDS
- * PERIMETER LOTS: ALL LOTS INDICATED WITH A (P) AND/OR ABUTTING COUNTRY ROAD 700 WEST SHALL HAVE A REAR GABLE IN THE FORM OF ONE OF THE FOLLOWING: ENCLOSED SUNROOM, SCREENED IN PORCH, A COVERED BACK PORCH WITH A MINIMUM OF 8"x8" COLUMNS, REAR BUMP-UP OF AT LEAST TEN (10) FEET IN WIDTH BY FOUR (4) FEET IN DEPTH. IF A FIRST-FLOOR BRICK WRAP IS CHOSEN, A GABLE IS NOT REQUIRED ON THE REAR ELEVATION.
 - CORNER LOTS: THOSE LOTS INDICATED WITH A (C) SHALL REQUIRE A MINIMUM OF THREE (3) DIFFERENT FINISH FACADE STYLES FROM THE LIST BELOW FOR EACH SIDE ELEVATION. THIS REQUIREMENT EXCLUDES DWELLINGS WITH A HIP ROOF WHEREAS THE REQUIREMENT MAY BE TWO (2) DIFFERENT FINISH FACADE STYLES. A THREE (3) FEET BRICK OR STONE WANSCOT IS REQUIRED AS ONE OF THE FINISHED FACADE STYLES. SHOULD A FULL FIRST FLOOR BRICK WRAP BE SELECTED, SAID BRICK SHALL SATISFY THE INTENT OF THIS REQUIREMENT. FINISHED FACADE STYLES MAY INCLUDE BUT ARE NOT LIMITED TO: BRICK, STONE, HORIZONTAL SIDING, BAT AND BOARD SIDING, TUDOR STYLE SIDING AND CEDAR SHAKE SIDING. DWELLINGS BUILT ON CORNER LOTS SHALL INCLUDE A MINIMUM OF ONE (1) WINDOW PER STORY OF A MINIMUM SIZE OF TWO (2) FEET BY FOUR (4) FEET ON THE SIDE OF THE DWELLING FACING THE STREET. THESE WINDOWS SHALL INCLUDE SHUTTERS WHERE THE BRICK WANSCOT DOES NOT INTERFERE.

Curve #	Length (ft)	Radius (ft)	Chord Bearing	Chord Length (ft)
C1	111.97	150.00	N88°17'01"E	109.39
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THE MEADOWS AT SAGEBROOK - SECTION 1 TOWN OF MCCORDSVILLE - SECONDARY PLAT HANCOCK COUNTY - INDIANA

PART OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 16 NORTH, RANGE 5 EAST

SEE SHEET 2

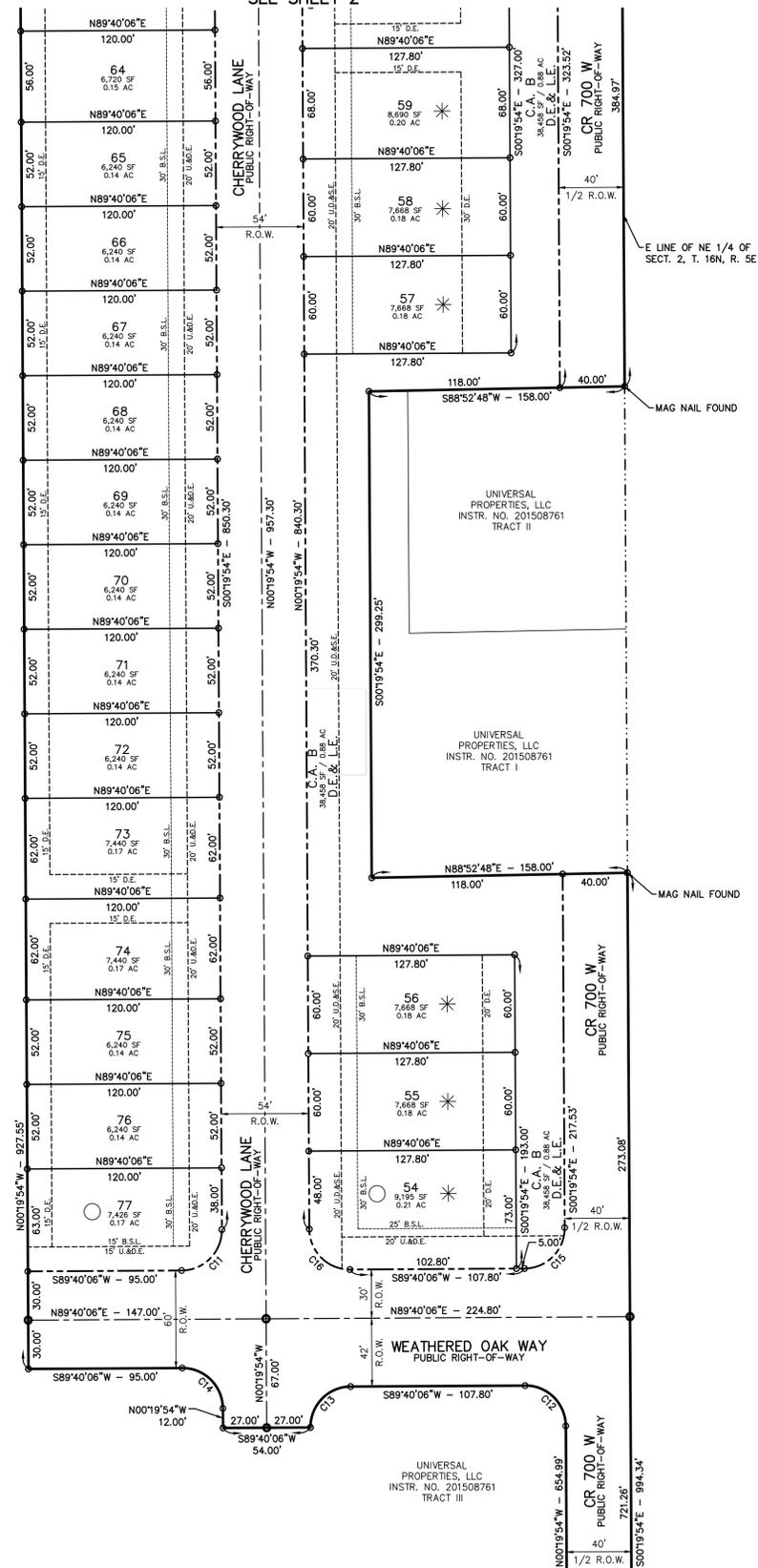


LEGEND

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- C.A. COMMON AREA
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NOTE: SEE SHEET 2 FOR ARCHITECTURAL STANDARDS

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INSTR. NO. 201508761
TRACT III

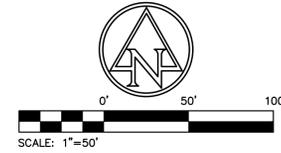


SEE SHEET 4

THE MEADOWS AT SAGEBROOK - SECTION 1 TOWN OF MCCORDSVILLE - SECONDARY PLAT HANCOCK COUNTY - INDIANA

PART OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 16 NORTH, RANGE 5 EAST

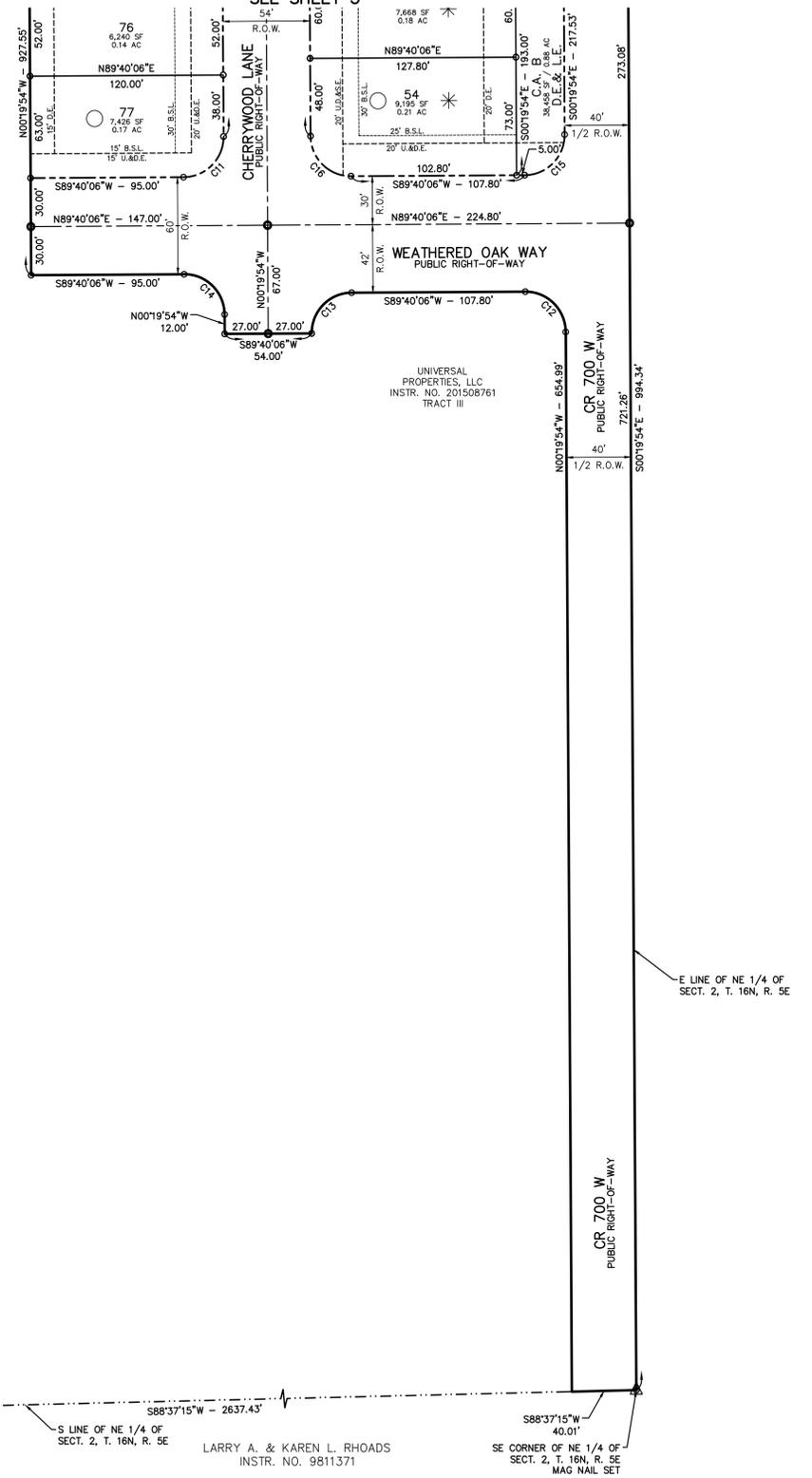
SEE SHEET 3



LEGEND

- B.S.L. BUILDING SETBACK LINE
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