



WEAVER'S LANDING, SECTION 2 - FINAL PLAT

PART OF THE S. 1/2, NW 1/4 SEC. 35-T17N-R5E HANCOCK COUNTY, INDIANA

SLIDE :

CERTIFICATE OF OWNERSHIP

Weaver's Landing Partners, LLC, does hereby certify that it is the owner of the property described in the above caption and that as such owner it has caused the said above described property to be surveyed and subdivided as shown on the herein drawn plat, as its free and voluntary act and deed.

Signature Mark Todd Roberts, Member Weaver's Landing Partners, LLC

State of Indiana County of _____

Before me, the undersigned, a Notary Public in for said County and State, personally appeared Mark Todd Roberts and acknowledged the execution of this Instrument as his voluntary act and deed and affixed his signature hereto. Witness my signature and seal this _____ day of _____, 20____.

Notary Public

Be it resolved by the McCordsville Town Council of McCordsville, Indiana, that the dedications shown on this plat are approved and accepted this _____ day of ____ , 20

President

McCORDSVILLE ADVISORY PLAN COMMISSION

This is to certify that this plat has been approved by the McCordsville Advisory Plan Commission the _____ day of _, 20____, under the authority provided by:

Devin L. Stetter

NOTES:

Johnathan Horton

1) Cross-reference is hereby made to a Boundary Survey of record, recorded as Instrument Number 201911628 and Instrument Number 201911629 in the Office of the Recorder of Hancock County, Indiana.

2) Dedicated Right-of-Way in this subdivision consists of 4.428 acres and 2748 lineal feet as measured along the centerline of the road.

3) The subject tract is zoned Weaver's Landing PUD Ordinance No. 091118A.

4) Per the Flood Insurance Rate Map (FIRM) for Hancock County, Indiana, community panel 18059C0018D, revised date December 4, 2007, Federal Emergency Management Agency, National Flood Insurance Program a portion of this property does lie within the boundary of a special flood hazard area. The accuracy of any flood hazard statement and the plotting of its limits is subject to map scale uncertainty. Per a Letter of Map Revision determination document, FEMA case #19-05-3686P dated 4/24/20, portions of this subdivision have been removed from the special flood hazard area.

SUPPLEMENTARY DECLARATION

This plat, together with all lots, streets, common areas, and real estate described herein is subject in all respects to the Declaration of Covenants Conditions and Restrictions of Weaver's Landing recorded with the Recorder of Hancock County Indiana, in Instrument #201913693 (the "Covenants"), and this constitutes, a supplement declaration within the meaning of the Covenants.

DRAINAGE COVENANT

Channels, tile drains 8-inch or larger, inlets and outlets of detention and retention ponds, and appurtenances thereto within designated drain easements are extensions of the McCordsville's stormwater drainage system and are the responsibility of the McCordsville Drainage Board and/or the McCordsville Public Works Commissioner. Drainage swales and tile drains less than 8-inch in inside diameter shall be the responsibility of the property owner or homeowner association.

A petition addressed to the McCordsville Drainage Board has been filed in duplicate with the McCordsville Town Engineer, requesting that the subdivision's storm drainage system and its easements be accepted into the regulated drain system. Channels, tile drains 8-inch or larger, inlets and outlets of detention and retention ponds, and appurtenances thereto within designated drain easements are extensions of the McCordsville's stormwater drainage system and are the responsibility of the McCordsville Drainage Board and/or the McCordsville Public Works Commissioner. Drainage swales and tile drains less than 8-inch in inside diameter shall be the responsibility of the property owner or homeowner association. The storm drainage system and its easements that are accepted in to the regulated drainage system are delineated on the plat as Regulated Drainage Easements (RDE's). Regulated Drainage Easements are stormwater easements and drainage rights of way that are hereby dedicated to the public and to McCordsville, Indiana, for the sole and exclusive purpose of controlling surface water and/or for installation, operation, and maintenance of storm sewer and tile drains as defined in McCordsville Stormwater Management Ordinance. These drainage easements are established under authority of the Indiana Drainage Code and the said Board may exercise powers and duties as provided in said code. All other storm drainage easements have not been accepted into the town's system. All drainage improvements performed relative to the conveyance of Stormwater runoff and the perpetual maintenance thereof, with the latter easements, shall be the responsibility of the owner or homeowner association. The McCordsville Drainage Board assumes no responsibility relative to said improvements or the maintenance thereof. This subdivision contains 2,900 linear feet of open ditches and 2,014 feet of subsurface drains that will be included in the Town's Regulated Drainage System.

This instrument was prepared by Jonathan D. Polson, Banning Engineering, 853 Columbia Road, Suite 101, Plainfield, IN 46168.

I affirm under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law. Jonathan D. Polson

Minimum Lot Area	7,800 square feet				
Minimum Lot Width at Building Line	60'				
Minimum Front Yard Setback	25'				
Minimum Side Yard Setback	6'				
Aggregate Side Yard Setback	15'				
Minimum Rear Yard Setback	25'				
Minimum Livable Floor Area	1,600 square feet (single sto				
	1,900 square feet (multi-sto				
Maximum Lot Coverage	40%				
Maximum Height - Principal	35'				

			PRELIMINARY PLAT		FINAL PLAT		RECORDING		Drawn: DM
	BANNING		Checked:	Date:	Checked:	Date:	Checked:	Date:	Scale: NA
	853 COLUMBIA ROAD, SUITE #101 PLAINFIELD, IN 46168 BUS: (317) 707-3700, FAX: (317) 707-3800 E-MAIL: Banning@BanningEngineering.com WEB: www.BanningEngineering.com	S	10-9-2020 - REVISED STREET NAMES						Date: 10/07/19
		si.	10-19-2020 - REVISED EASEMENTS						Project: 18003P
								Sheet 4 of 4	