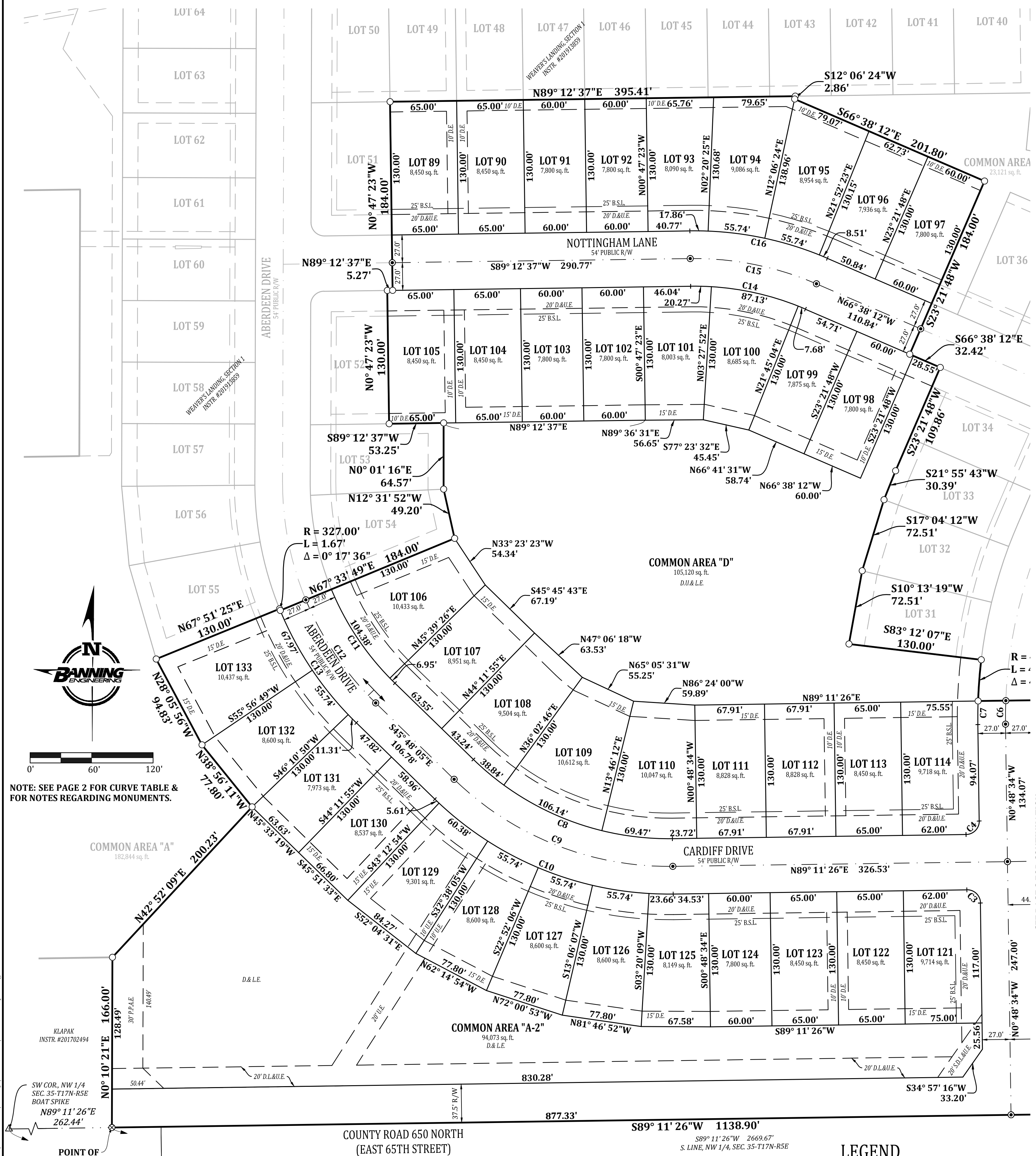


WEAVER'S LANDING, SECTION 2 - FINAL PLAT

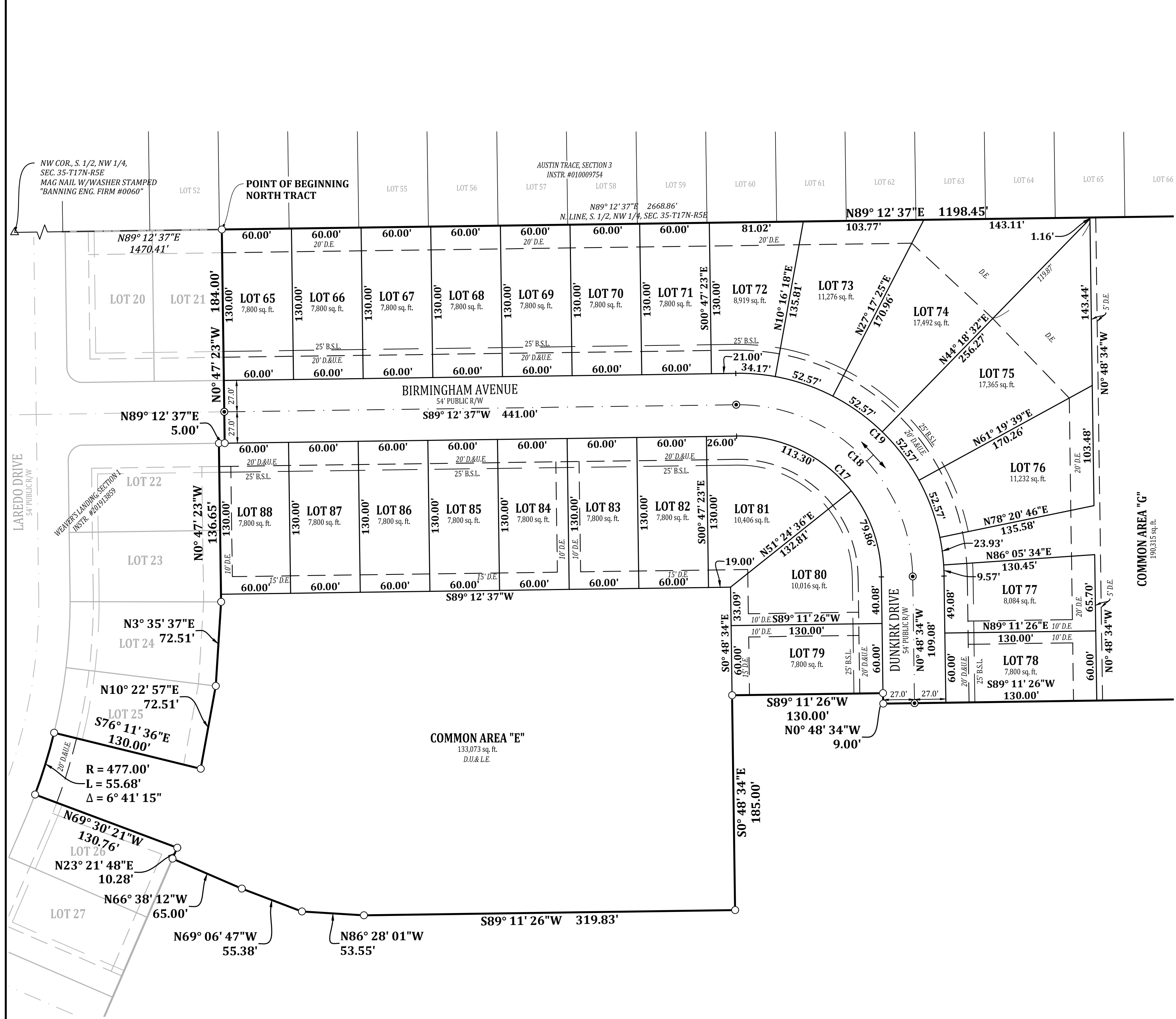
PART OF THE S. 1/2, NW 1/4 SEC. 35-T17N-R5E
HANCOCK COUNTY, INDIANAINSTR. NO.: _____
CABINET: _____
SLIDE: _____

LEGEND

- S. - SIGN
- P.A. - PUBLIC PEDESTRIAN ACCESS
- D. - DRAINAGE
- U. - UTILITY
- L. - LANDSCAPE
- E. - EASEMENT
- R/W - RIGHT OF WAY
- B.S.L. - BUILDING SETBACK LINE
- Sq. Ft. - SQUARE FEET

PRELIMINARY PLAT	FINAL PLAT	RECORDING	Drawn: DM
Checked: Date:	Checked: Date:	Checked: Date:	Scale: 1"=60'
10-9-2020 - REVISED STREET NAMES			Date: 10/07/19
10-19-2020 - REVISED EASEMENTS			Project: 18003P
			Sheet 1 of 4

WEAVER'S LANDING, SECTION 2 - FINAL PLAT

PART OF THE S. 1/2, NW 1/4 SEC. 35-T17N-R5E
HANCOCK COUNTY, INDIANAINSTR. NO.: _____
CABINET: _____
SLIDE: _____

Curve Table						
Curve #	Length	Radius	Δ	Tangent	Chord Bearing	Chord Distance
C1	20.42'	13.00'	90°00'00"	13.00'	S45°48'34"E	18.38'
C2	22.55'	13.00'	99°23'00"	15.32'	S39°29'56"W	19.83'
C3	20.42'	13.00'	90°00'00"	13.00'	N45°48'34"W	18.38'
C4	20.42'	13.00'	90°00'00"	13.00'	N44°11'26"E	18.38'
C5	22.94'	423.00'	3°06'26"	11.47'	S0°44'38"W	22.94'
C6	22.94'	450.00'	2°55'14"	11.47'	S0°39'03"W	22.94'
C7	22.94'	477.00'	2°45'18"	11.47'	S0°34'05"W	22.93'
C8	214.45'	273.00'	45°00'29"	113.10'	S68°18'20"E	208.98'
C9	235.66'	300.00'	45°00'29"	124.29'	S68°18'20"E	229.65'
C10	256.87'	327.00'	45°00'29"	135.48'	S68°18'20"E	250.32'
C11	111.33'	273.00'	23°21'54"	56.45'	S34°07'08"E	110.56'
C12	122.34'	300.00'	23°21'54"	62.03'	S34°07'08"E	121.49'
C13	133.35'	327.00'	23°21'54"	67.61'	S34°07'08"E	132.43'
C14	115.08'	273.00'	24°09'11"	58.41'	N78°42'47"W	114.23'
C15	126.47'	300.00'	24°09'11"	64.19'	N78°42'47"W	125.53'
C16	137.85'	327.00'	24°09'11"	69.96'	N78°42'47"W	136.83'
C17	193.17'	123.00'	89°58'48"	122.96'	N45°47'59"W	173.92'
C18	235.57'	150.00'	89°58'48"	149.95'	N45°47'59"W	212.10'
C19	277.97'	177.00'	89°58'48"	176.94'	N45°47'59"W	250.27'

LEGEND

- S. - SIGN
- P.A. - PUBLIC PEDESTRIAN ACCESS
- D. - DRAINAGE
- U. - UTILITY
- L. - LANDSCAPE
- E. - EASEMENT
- R/W - RIGHT OF WAY
- B.S.L. - BUILDING SETBACK LINE
- Sq. Ft. - SQUARE FEET
- CHANGE OF STREET NAME

PER TITLE 865 I.A.C. 1-12-18, THE INSTALLATION OF THE SUBDIVISION MONUMENTS MAY BE DELAYED FOR UP TO TWO YEARS FROM THE DATE IN WHICH THE PLAT WAS RECORDED. FOR THOSE MONUMENTS NOT INSTALLED PRIOR TO RECORDEMENT OF THIS PLAT, A MONUMENT AFFIDAVIT WILL BE RECORDED AND CROSS REFERENCED TO THIS PLAT AFTER THE COMPLETION OF THE INSTALLATION OF THE SUBDIVISION MONUMENTATION.

ALL MONUMENTS SHOWN WITHIN THIS PLAT WERE FOUND OR SET PRIOR TO THE RECORDING OF THIS PLAT.

○ DENOTES A 5/8" REBAR, 24" LONG, WITH CAP STAMPED "BANNING ENG FIRM #0060", UNLESS OTHERWISE NOTED.

● DENOTES A STREET CENTERLINE MONUMENT, A 5/8" DIA. REBAR WITH 1-1/2" TAPERED ALUMINUM CAP, STAMPED "BANNING ENG FIRM #0060", SET FLUSH OR A 2" MAG NAIL, TEMPORARY SET FLUSH WITH BINDER COURSE.

⊗ DENOTES A MAG NAIL WITH WASHER STAMPED "BANNING ENG FIRM #0060" SET OR FOUND

Witness my signature this ____ day of _____, 20__.

Signature _____

Jonathan D. Polson - Professional Surveyor - Indiana - # LS21500011

BANNING ENGINEERING
853 COLUMBIA ROAD, SUITE #101
PLAINFIELD, IN 46168
BUS: (317) 707-3700, FAX: (317) 707-3800
E-MAIL: Banning@BanningEngineering.com
WEB: www.BanningEngineering.com

PRELIMINARY PLAT	FINAL PLAT	RECORDING	Drawn: DM
Checked: Date:	Checked: Date:	Checked: Date:	Scale: 1"=60'
10-9-2020 - REVISED STREET NAMES			Date: 10/07/19
10-19-2020 - REVISED EASEMENTS			Project: 18003P
			Sheet 2 of 4

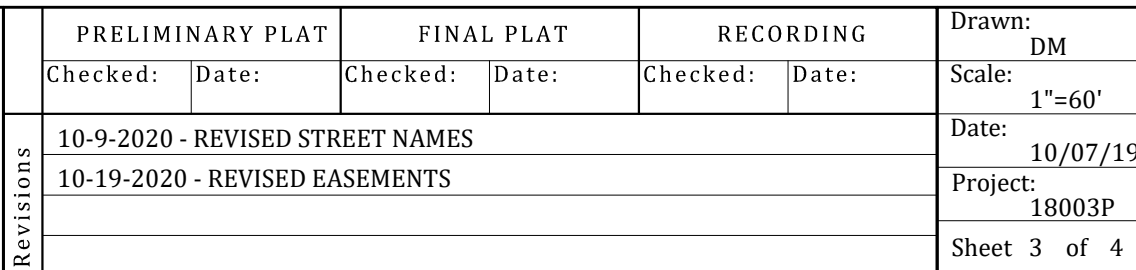
INSTR. NO. : _____
CABINET : _____
SLIDE : _____



LEGEND

-

- Jonathan D. Polson - Professional Surveyor - Indiana - # LS21500011



MINIMUM REQUIREMENTS	
Minimum Lot Area	7,800 square feet
Minimum Lot Width at Building Line	60'
Minimum Front Yard Setback	25'
Minimum Side Yard Setback	6'
Aggregate Side Yard Setback	15'
Minimum Rear Yard Setback	25'
Minimum Livable Floor Area	1,600 square feet (single story) 1,900 square feet (multi-story)
Maximum Lot Coverage	40%
Maximum Height - Principal	35'

