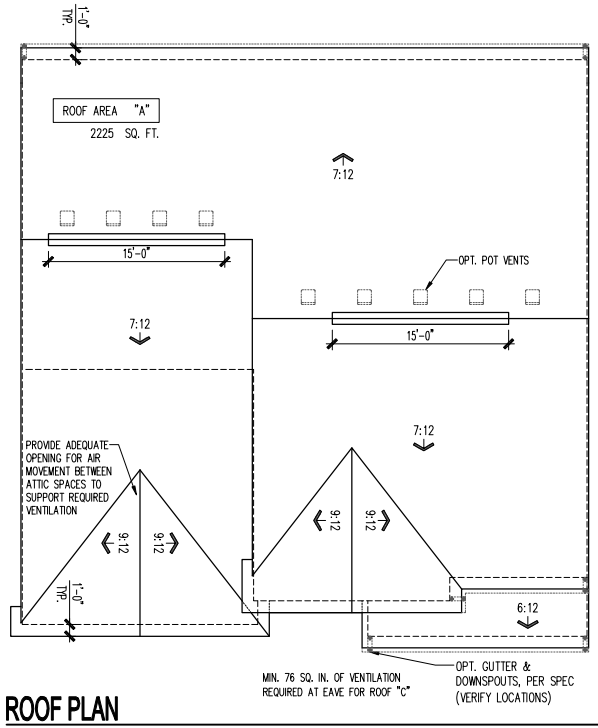


Westchester Heartland 2M



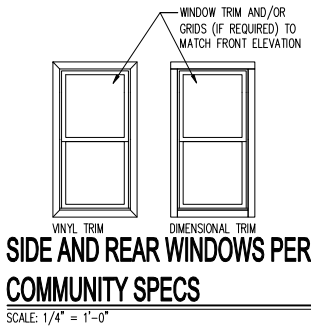




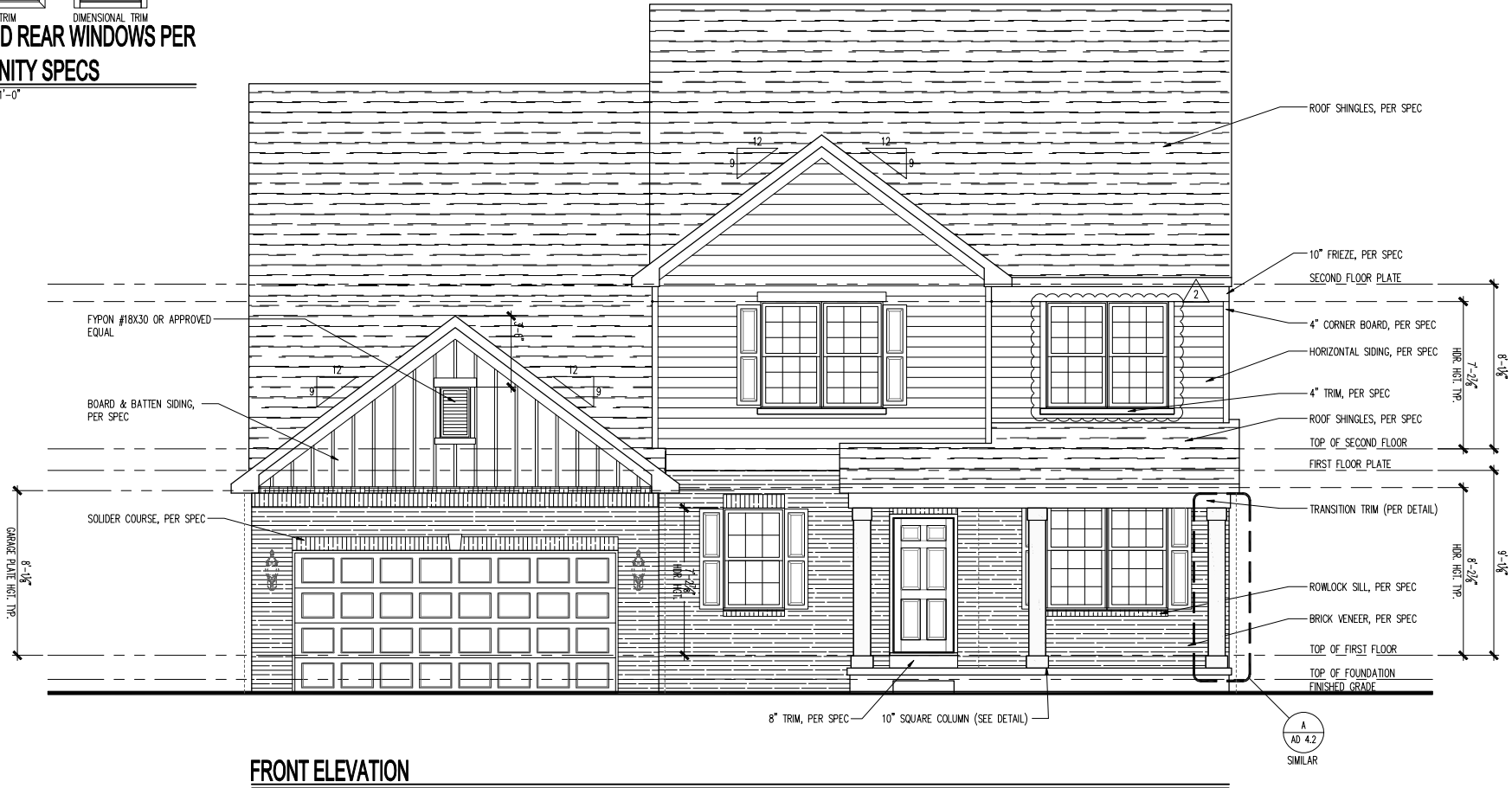
ROOF PLAN  
 SCALE: 1/8" = 1'-0"

ATTIC VENT SCHEDULE									
Heartland 2M									
ROOF AREA "A"	SQ. FTG	2225	AT / NEAR RIDGE			AT / NEAR EAVE			
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POF LARGE PLUMBER	POF SMALL PLUMBER	RIDGE VENT PLUMBER	EAVE VENT PLUMBER	CONT. VENT PLUMBER	
HIGH-POLE VENT ONLY	3.97	3.71	3.81	49.00	0	0	0	0	0
AT EAVE	4.46	3.71	3.89	98.00				0	98.00
TOTAL min	7.42	7.42	7.70	100.00					
HIGH-POLE VENT ONLY	3.97	3.71	3.79	49.00	0	0	36.00		
AT EAVE	4.46	3.71	3.89	98.00				0	98.00
TOTAL min	7.42	7.42	7.68	100.00					

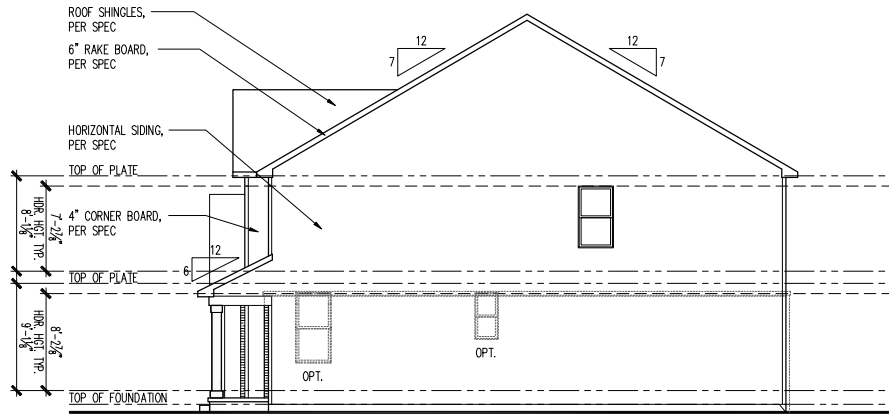
ADDITIONAL FOR VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT ROOF AVAILABLE



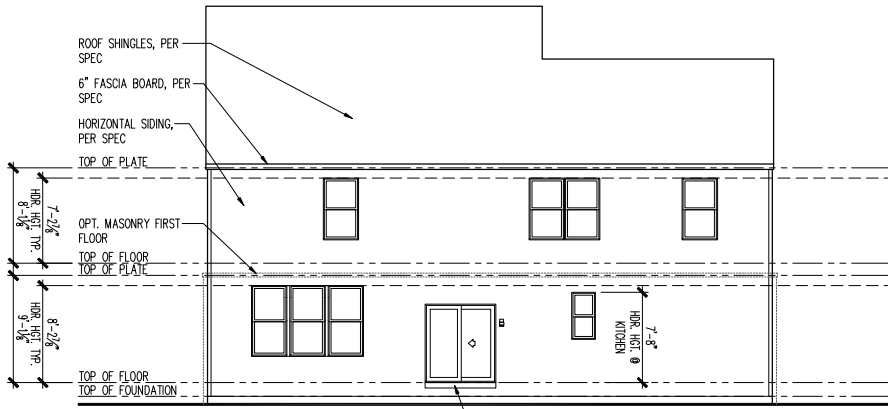
SIDE AND REAR WINDOWS PER  
 COMMUNITY SPECS  
 SCALE: 1/4" = 1'-0"



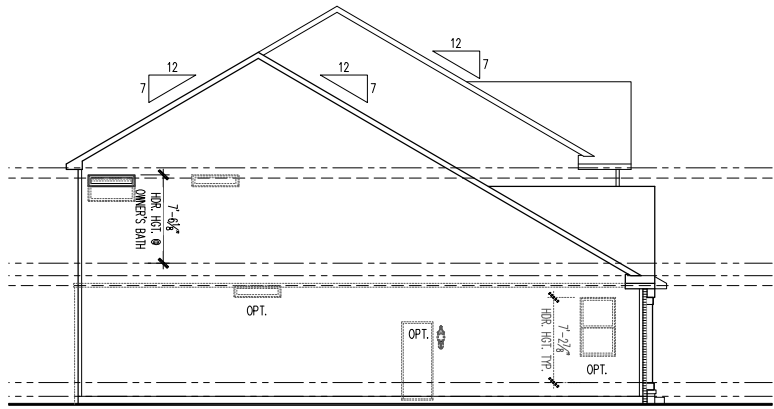
FRONT ELEVATION  
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION  
 SCALE: 1/8" = 1'-0"



REAR ELEVATION  
 SCALE: 1/8" = 1'-0"



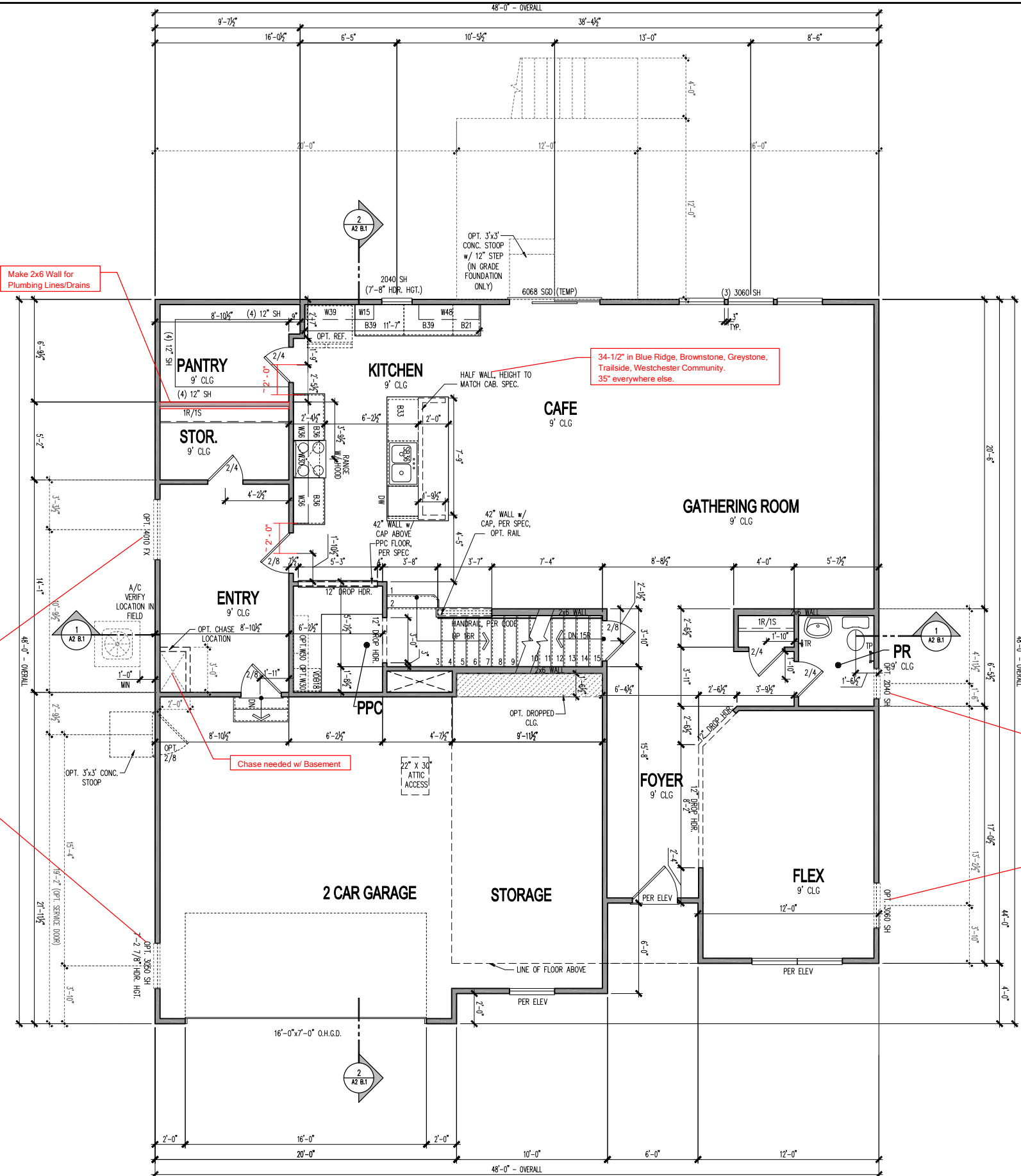
LEFT ELEVATION  
 SCALE: 1/8" = 1'-0"

REV#	DATE/DESCRIPTION
1	01/18/2019
2	PCR REVISIONS
3	11/27/2019
4	PCR REVISIONS
5	
6	
7	
8	
9	
10	

FLOORPLAN NOTES

GENERAL SPECIFICATIONS

1. ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE
2. ALL STUDS AT EXTERIOR AND INTERIOR WALLS SHALL BE 2x4 UNLESS OTHERWISE NOTED
3. ALL STUDS AT EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE FRAMED AT 16" O.C. UNLESS NOTED OTHERWISE
4. ALL NON-BEARING WALLS, OTHER THAN IN THE KITCHEN AND PLANNING CENTERS, TO BE 2x4 STUDS AT 24" O.C. UNLESS OTHERWISE NOTED OR RESTRICTED BY LOCAL CODES OR ORDINANCES. KITCHEN AND PLANNING CENTER WALLS WHERE WALL CABINETS ARE TO BE HUNG SHALL BE FRAMED AT 16" O.C.
5. PROVIDE DOUBLE 2x TOP PLATES AT ALL LOAD BEARING WALLS.
6. PROVIDE SINGLE TOP PLATE AT ALL INTERIOR NON-LOADING BEARING WALLS.
7. PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
8. PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
9. PROVIDE 3/2" DRYWALL AT WALLS, CEILING AND UNDERSIDE OF STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
10. ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
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12. PROVIDE THERMO-PLY SHEATHING AND BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS SURROUNDING TUBS AND SHOWERS.
13. ALL REQUIRED GUARDRAILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS.
14. ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
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16. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



FIRST FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

Midwest Zone Office  
1900 Golf Road - Suite 300  
Schaumburg, Illinois 60173



First Floor Plan

4" Exterior Walls

PRODUCT MANAGER Rick Starkey	
INITIAL RELEASE	
DATE: 01/18/2019	
REV#	DATE/DESCRIPTION
Δ	01/18/2019 PCR REVISIONS
Δ	11/27/2019 PCR REVISIONS
Δ	
Δ	
Δ	
Δ	
Δ	
Δ	

GARAGE HANDING  
LEFT

SPECIFICATION LEVEL  
1

PLAN NAME  
WESTCHESTER  
NPC CHILD NUMBER  
1852.302

SHEET  
A1  
4-1.1

Standard in Brownsstone, Greystone,  
Hunters Run, Blue Ridge, Wood Hollow,  
Lochaven, Westchester, Westmoor, Oakcrest  
communities

Standard in Brownsstone, Greystone,  
Hunters Run, Blue Ridge, Wood Hollow,  
Lochaven, Westchester, Westmoor, Oakcrest  
communities

34-1/2" in Blue Ridge, Brownsstone, Greystone,  
Trailside, Westchester Community.  
35" everywhere else.

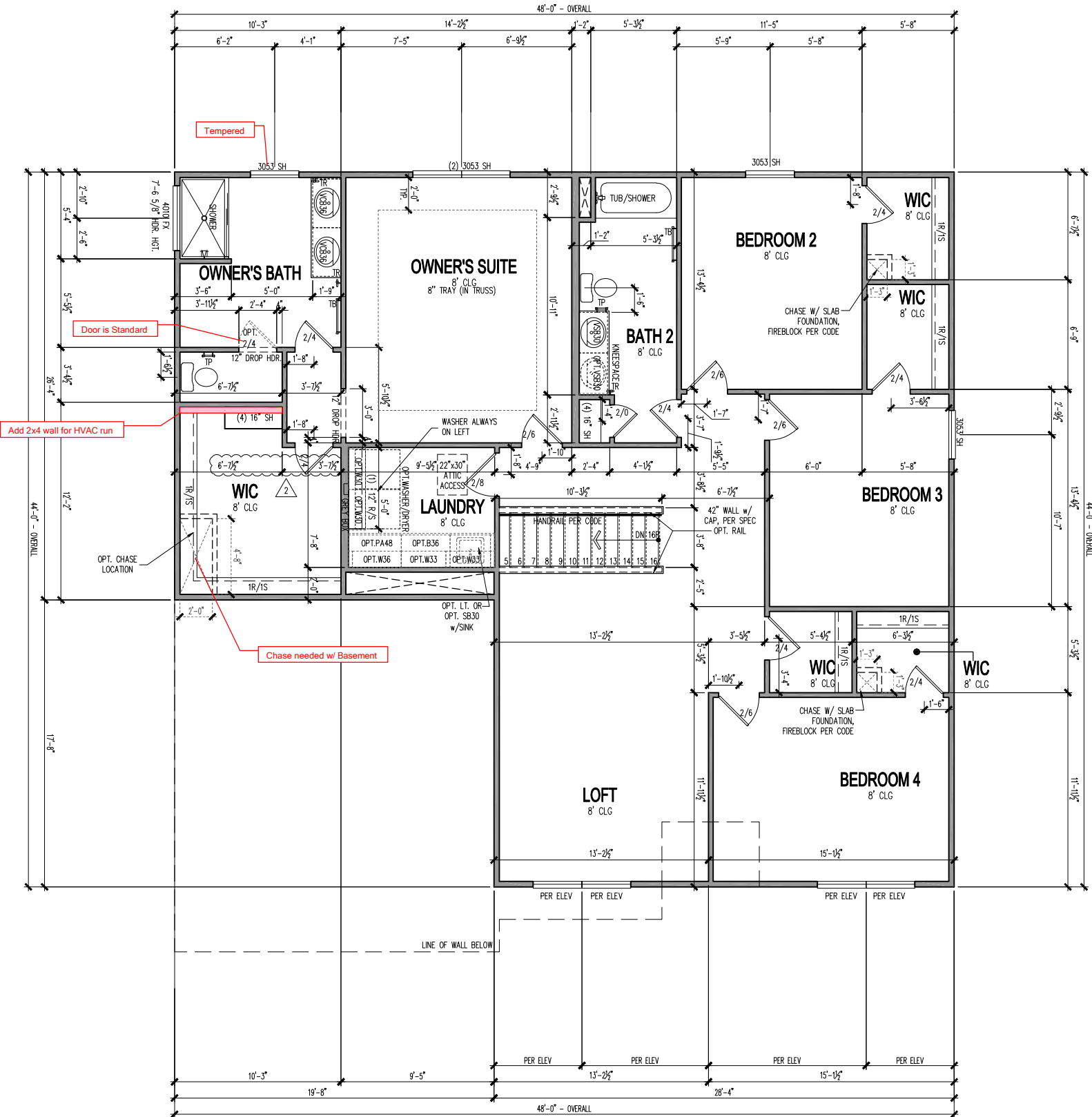
Chase needed w/ Basement

Make 2x6 Wall for  
Plumbing Lines/Drains

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SECOND FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

PRODUCT MANAGER Rick Starkey INITIAL RELEASE DATE: 01/18/2019
REV# DATE/DESCRIPTION
1 01/18/2019
2 11/27/2019
3
4
5
6
7
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9
10



Riverton Heartland 2M





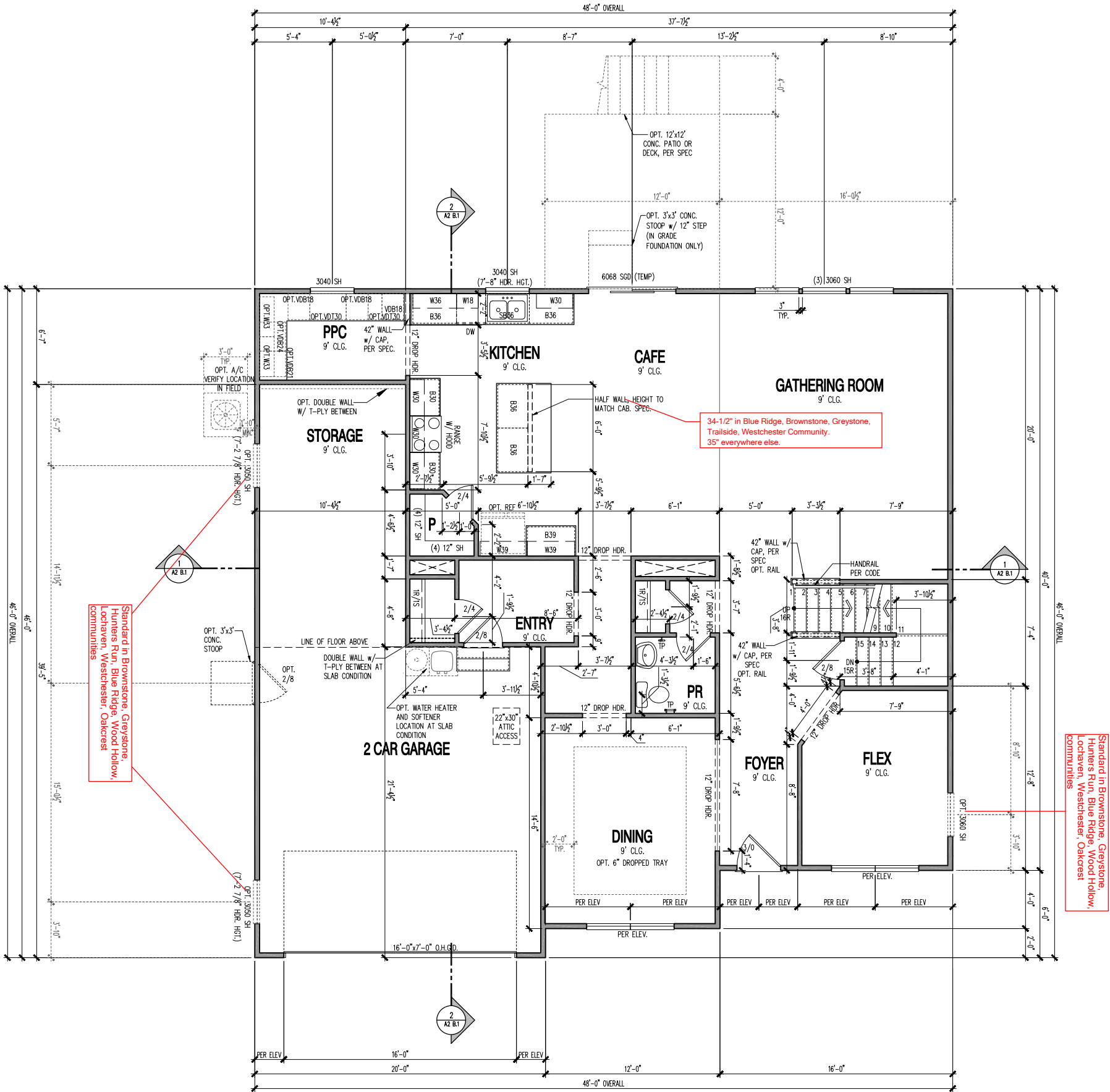




FLOORPLAN NOTES

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16. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



FIRST FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

PRODUCT MANAGER	Rick Starkey
INITIAL RELEASE	
DATE:	01/18/2019
REV#	DATE/DESCRIPTION
1	01/18/2019
2	PLAN REFRESH
3	04/16/2019
4	PLAN REVISIONS
5	11/27/2019
6	PCR REVISIONS
7	
8	
9	
10	

GARAGE HANDING
LEFT

SPECIFICATION LEVEL
1

PLAN NAME
Riverton
NPC CHILD NUMBER
1853.302

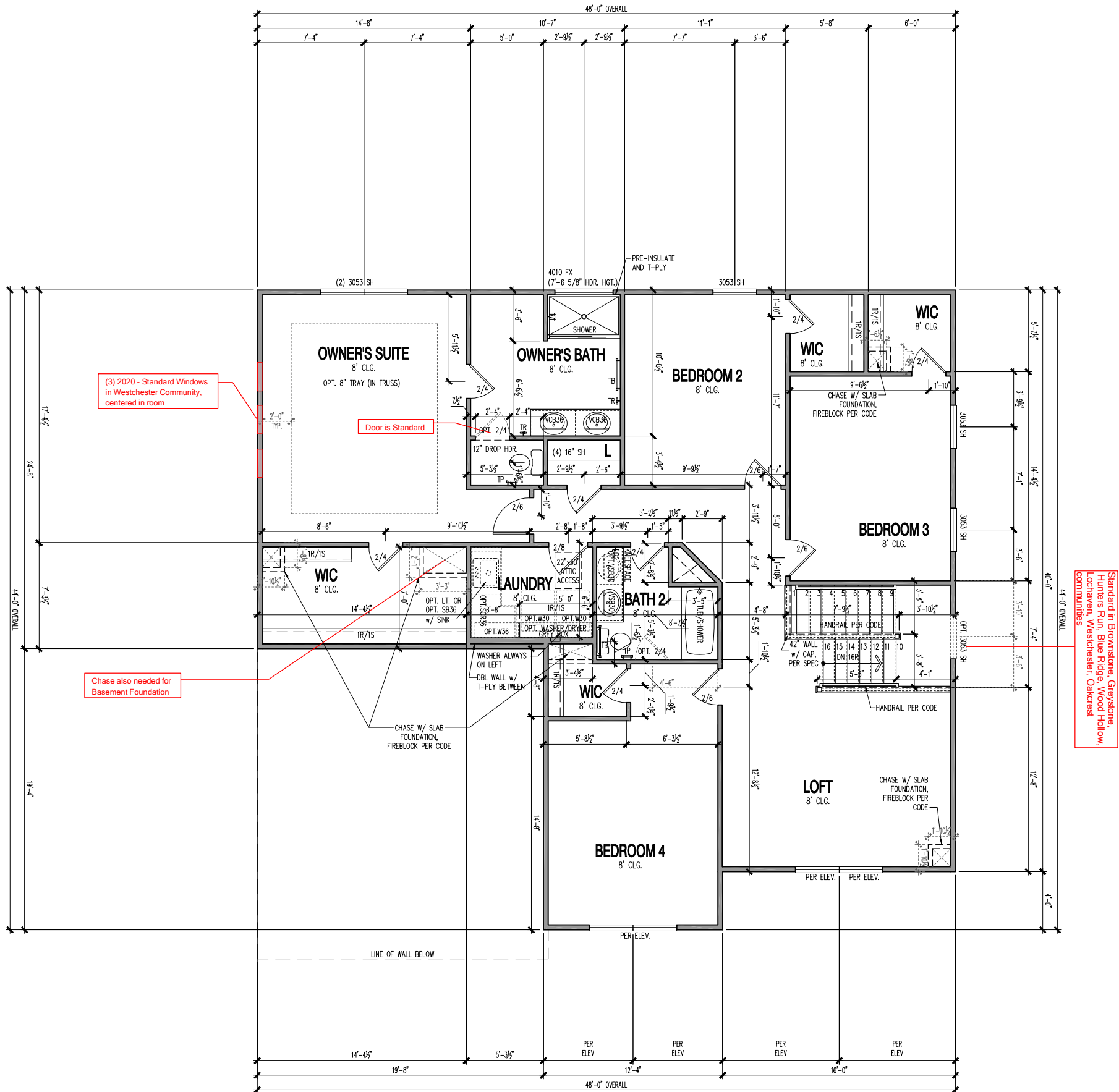
SHEET
A1
4-1.1



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SECOND FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

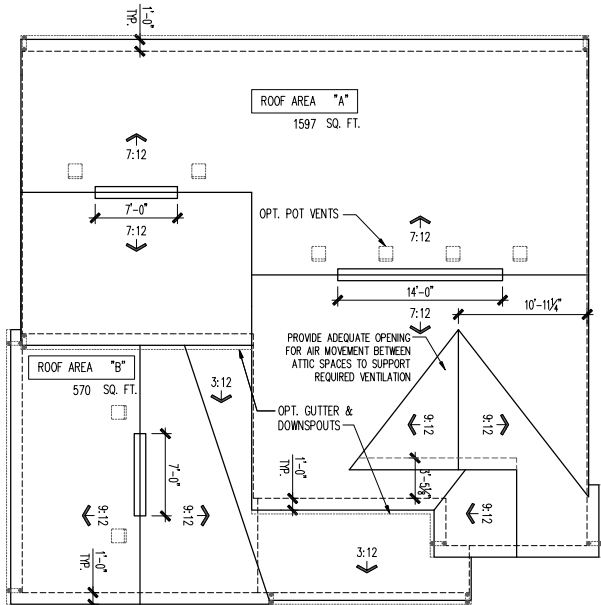
PRODUCT MANAGER	Rick Starkey
INITIAL RELEASE	
DATE:	01/18/2019
REV#	DATE/DESCRIPTION
1	01/18/2019
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10	



Hilltop Heartland 3R

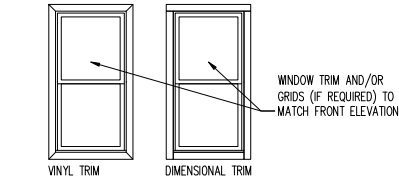






ROOF PLAN  
 SCALE: 1/8" = 1'-0"

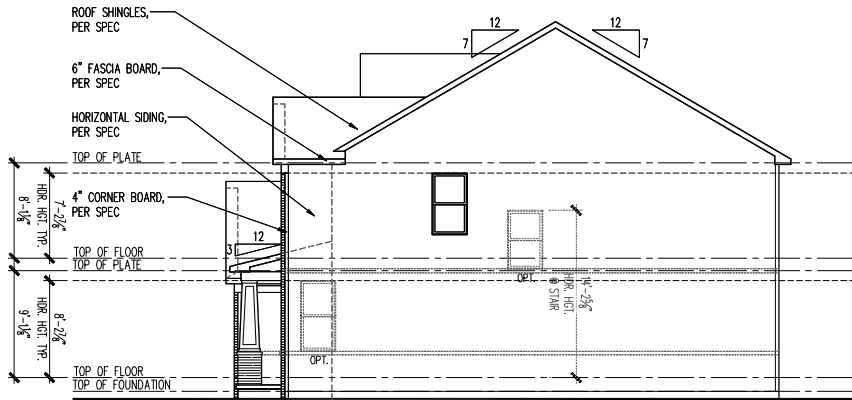
ATTIC VENT SCHEDULE									
Heartland 3R									
ROOF AREA "A"	SQ. FTG	1597	AT / NEAR RIDGE				AT / NEAR EAVE		
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE SOLARIZER	FOR SMALL SOLARIZER	RIDGE VENT SOLARIZER	SAVE VENT SOLARIZER	CONT. VENT SOLARIZER	
WIND-UP VENT ONLY	2.13 - 2.44	2.44	47.28	4	0				
AT BATH	2.19 - 2.44	2.78	62.32				0	40.00	
TOTAL 1597	5.32 - 5.32	5.32	100.00						
WIND-UP VENT ONLY	2.13 - 2.44	2.44	42.89	0	0	21.00			
AT BATH	2.19 - 2.44	2.78	51.61				0	40.00	
TOTAL 570	5.32 - 5.32	5.40	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE					
ROOF AREA "B"	SQ. FTG	570	AT / NEAR RIDGE				AT / NEAR EAVE		
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE SOLARIZER	FOR SMALL SOLARIZER	RIDGE VENT SOLARIZER	SAVE VENT SOLARIZER	CONT. VENT SOLARIZER	
WIND-UP VENT ONLY	0.76 - 0.96	0.88	43.36	2	0				
AT BATH	1.14 - 0.96	1.11	64.74				0	16.00	
TOTAL 570	1.90 - 1.90	1.96	100.00						
WIND-UP VENT ONLY	0.76 - 0.96	0.88	43.66	0	0	7.00			
AT BATH	1.14 - 0.96	1.04	64.36				0	16.00	
TOTAL 1597	1.90 - 1.90	1.92	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE					



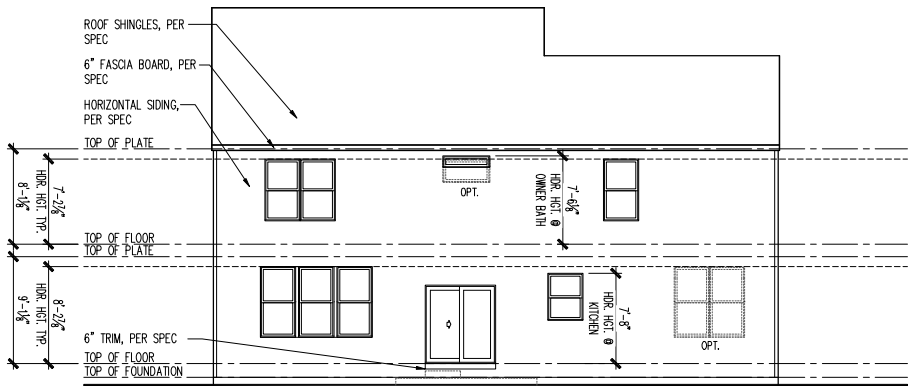
SIDE AND REAR WINDOWS PER  
 COMMUNITY SPECS  
 SCALE: 1/4" = 1'-0"



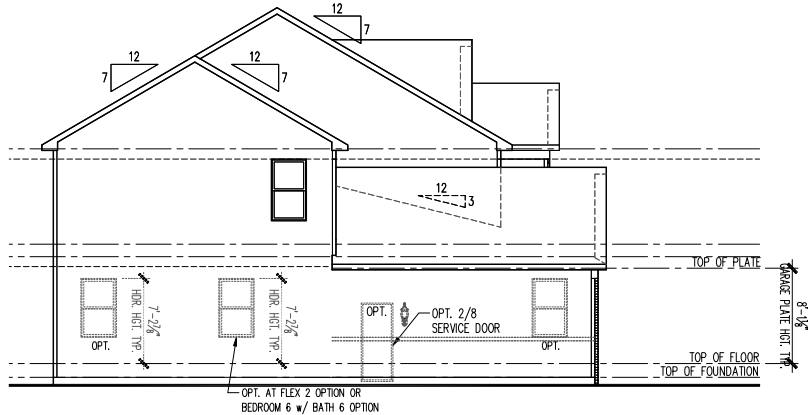
FRONT ELEVATION  
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION  
 SCALE: 1/8" = 1'-0"



REAR ELEVATION  
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION  
 SCALE: 1/8" = 1'-0"

PRODUCT MANAGER Rick Starkey	
INITIAL RELEASE	
DATE: 1/18/2019	
REV#	DATE/DESCRIPTION
1	1/18/2019
2	PLAN REVISIONS
3	2/15/2019
4	PLAN UPDATES
5	11/27/2019
6	PCR REVISIONS



FLOORPLAN NOTES

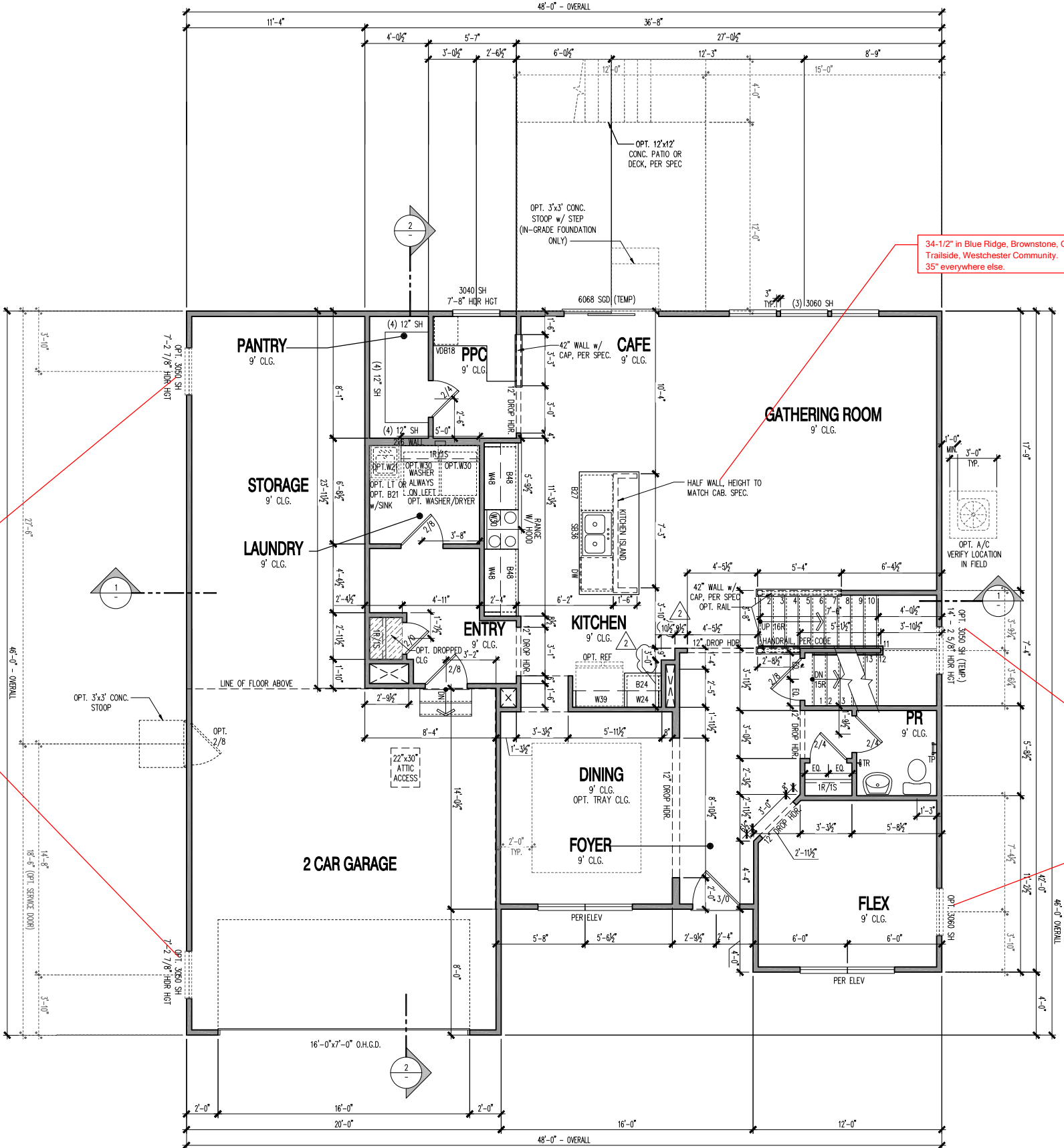
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Standard in Brownstone, Greystone, Hunters Run, Blue Ridge, Wood Hollow, Lochaven, Westchester, Westmoor, Oakcrest Communities

Standard in Brownstone, Greystone, Hunters Run, Blue Ridge, Wood Hollow, Lochaven, Westchester, Westmoor, Oakcrest Communities

34-1/2" in Blue Ridge, Brownstone, Greystone, Trailside, Westchester Community. 35" everywhere else.



FIRST FLOOR PLAN - 4' EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

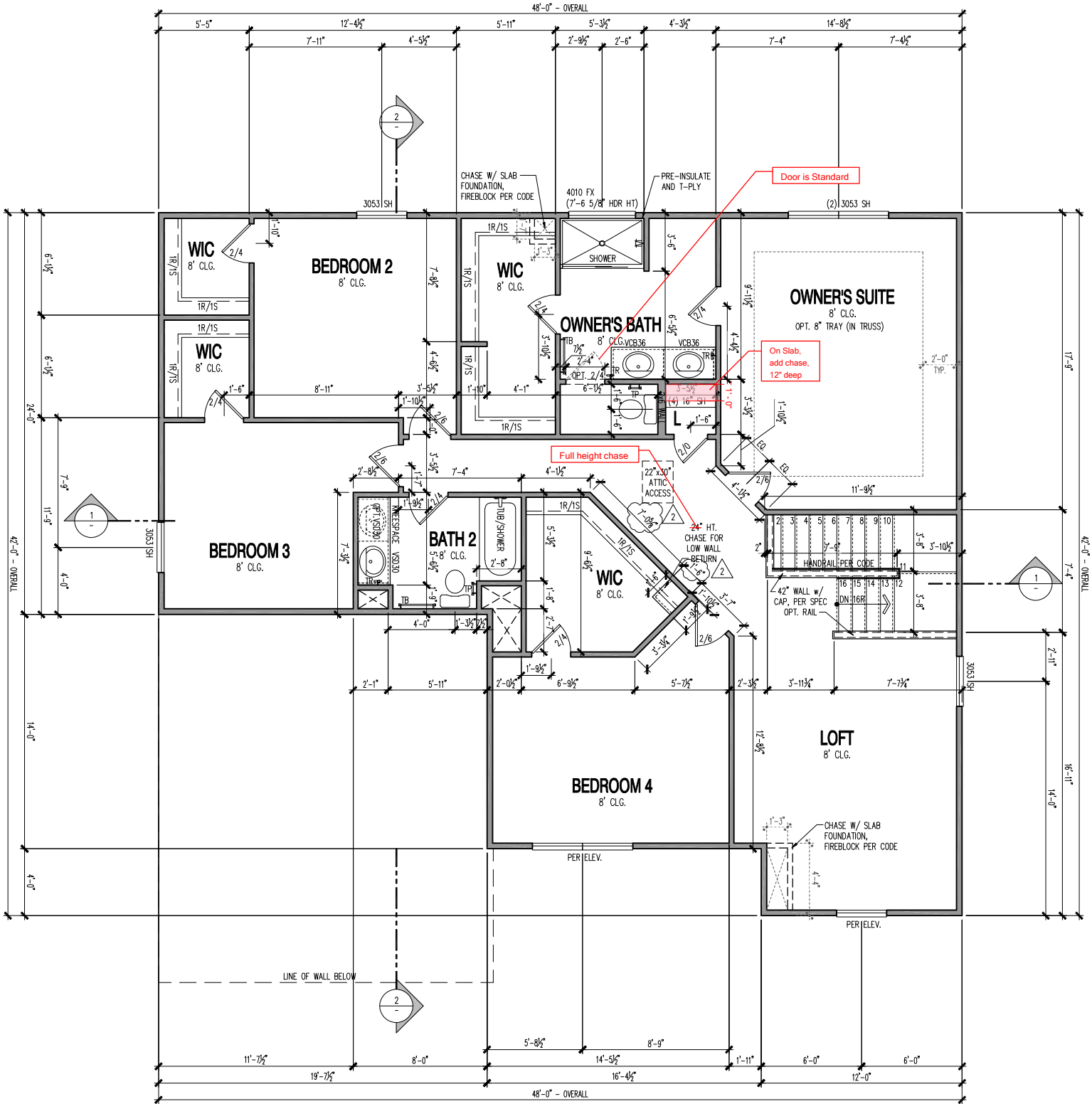
PRODUCT MANAGER	Rick Starkey
INITIAL RELEASE	DATE: 1/18/2019
REV#	DATE/DESCRIPTION
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FLOORPLAN NOTES

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SECOND FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

PRODUCT MANAGER	Rick Starkey
INITIAL RELEASE	
DATE:	1/18/2019
REV#	DATE/DESCRIPTION
1	1/18/2019
2	2/15/2019
3	11/27/2019
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6	
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Hilltop Heartland 1W





PRODUCT MANAGER	Rick Starkey
INITIAL RELEASE	
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REV#	DATE/DESCRIPTION
1	1/18/2019
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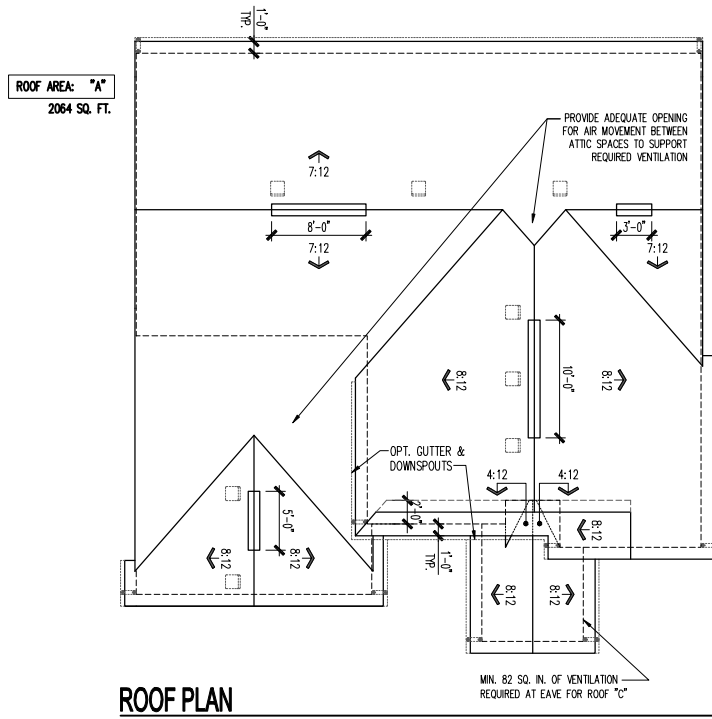
GARAGE HANDLING  
Single Family

SPECIFICATION LEVEL

PLAN NAME  
Hilltop  
NPC CHILD NUMBER  
1851.302

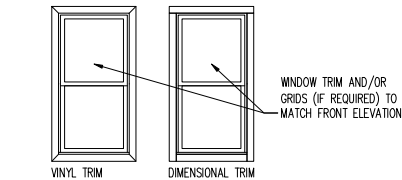
SHEET  
A3-HR1W  
2FB.1

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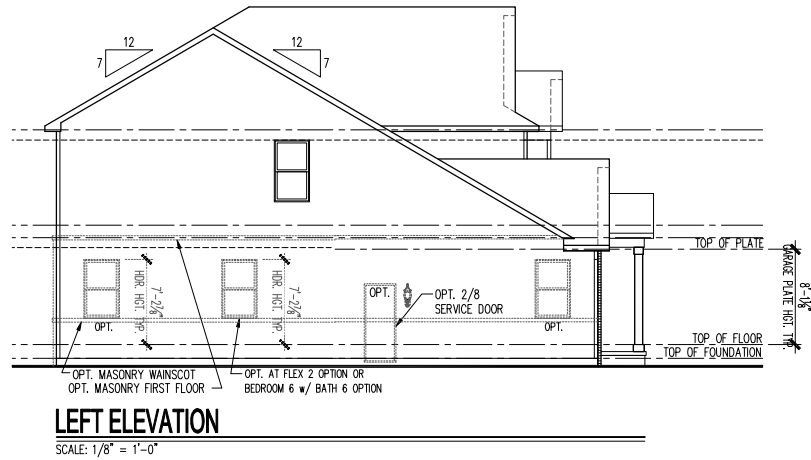
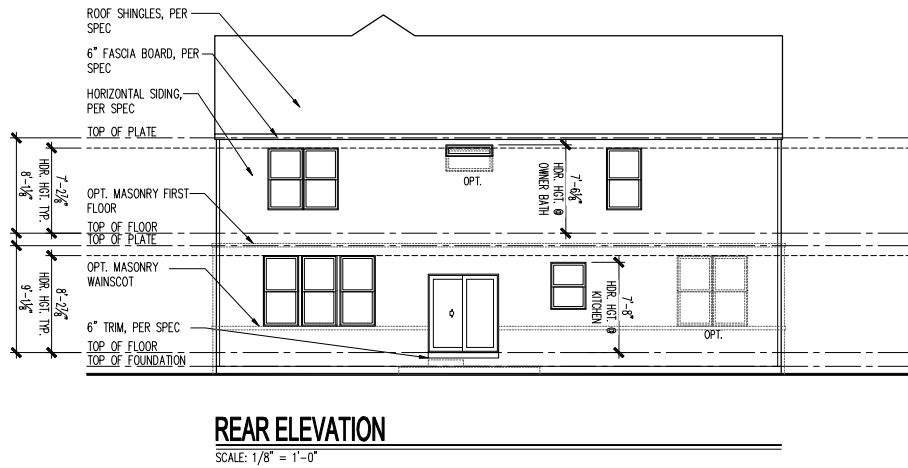
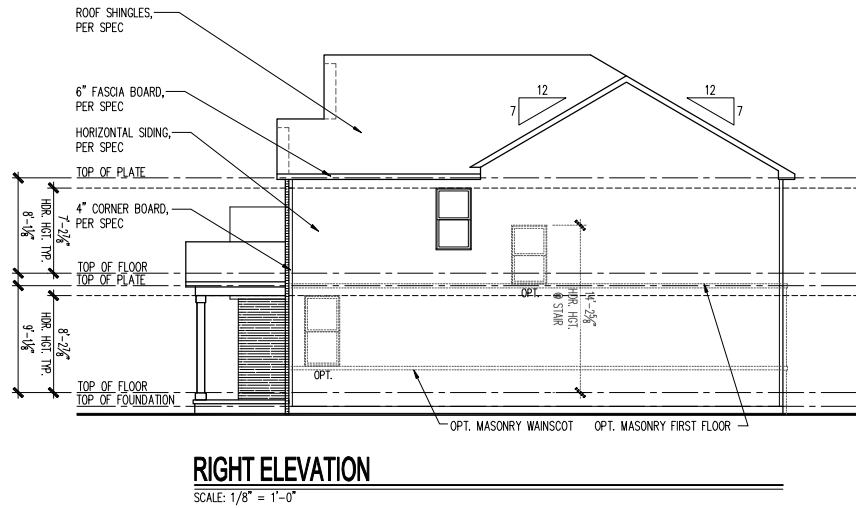
ATTIC VENT SCHEDULE									
Heartland 1W									
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE RANGE	FOR SMALL RANGE	ROOF VENT RANGE	EAVE VENT RANGE	CONT. VENT RANGE	
WIND-UP PRESS-ON	3.75 - 3.44	3.39	47.47	0	0				
AT EAVE	4.15 - 3.44	3.75	62.53					0	54.00
TOTAL INCH	6.80	6.80	7.14	100.00					
WIND-UP PRESS-ON	3.75 - 3.44	3.35	46.45	0	0	24.00			
AT EAVE	4.15 - 3.44	3.75	53.55					0	54.00
TOTAL INCH	6.80	6.80	7.00	100.00					

ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE



SIDE AND REAR WINDOWS PER COMMUNITY SPECS

SCALE: 1/4" = 1'-0"





FLOORPLAN NOTES

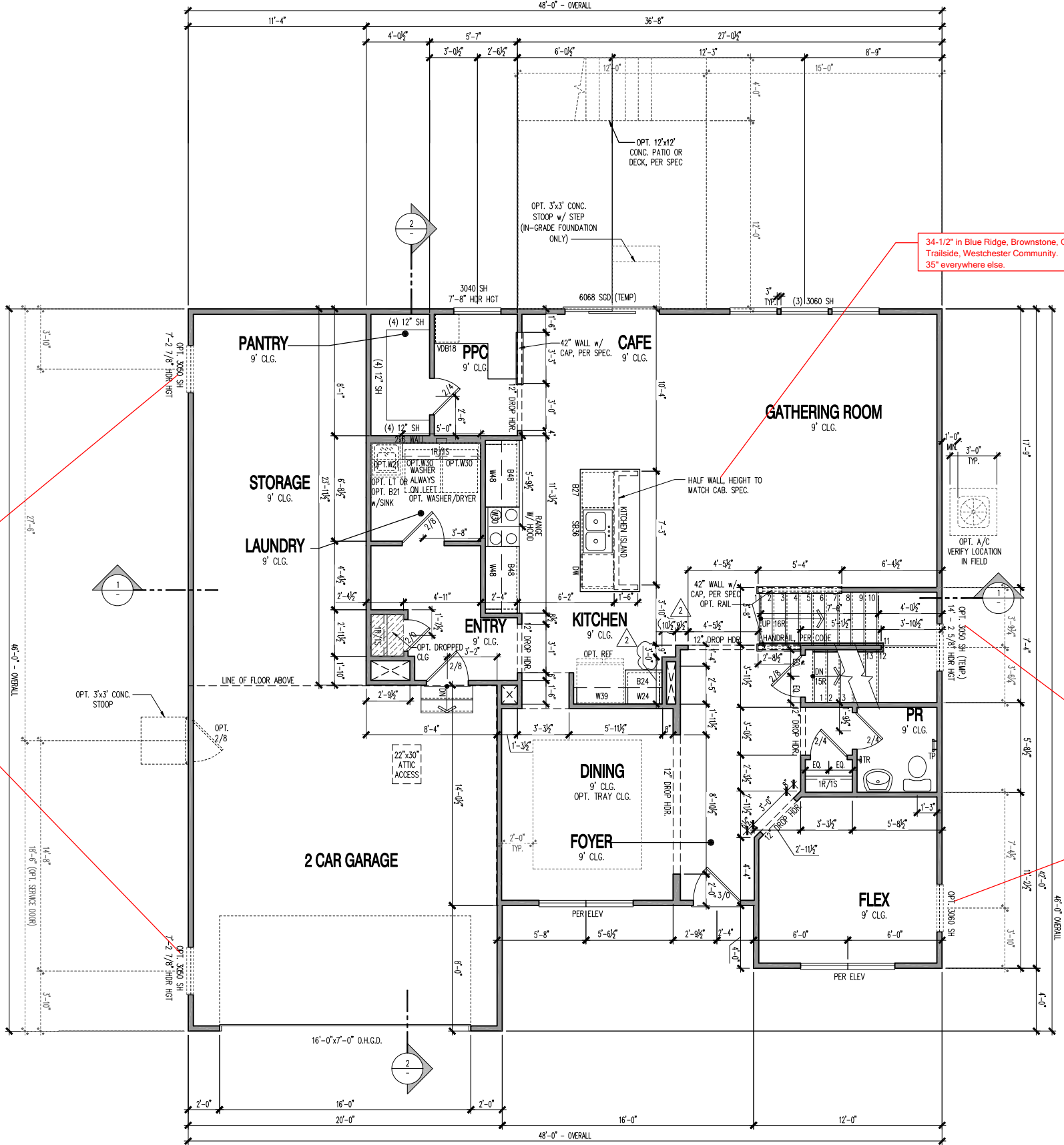
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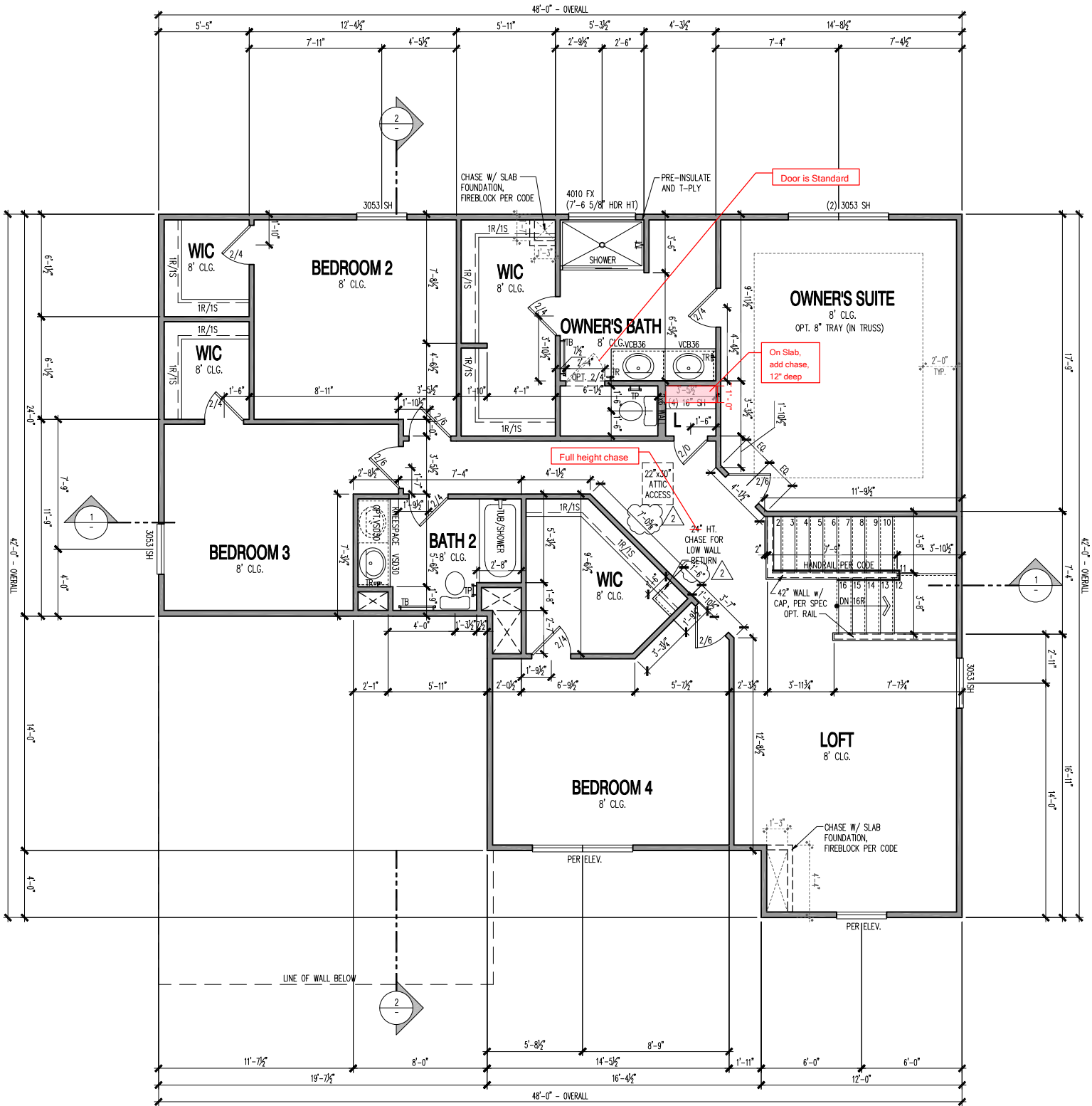
PRODUCT MANAGER	Rick Starkey
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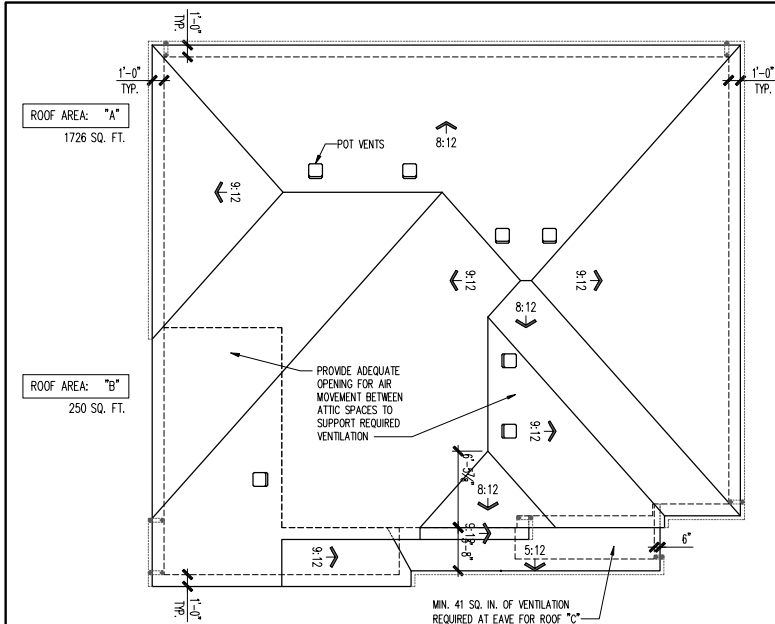


Greenfield Euro Country 2W-B



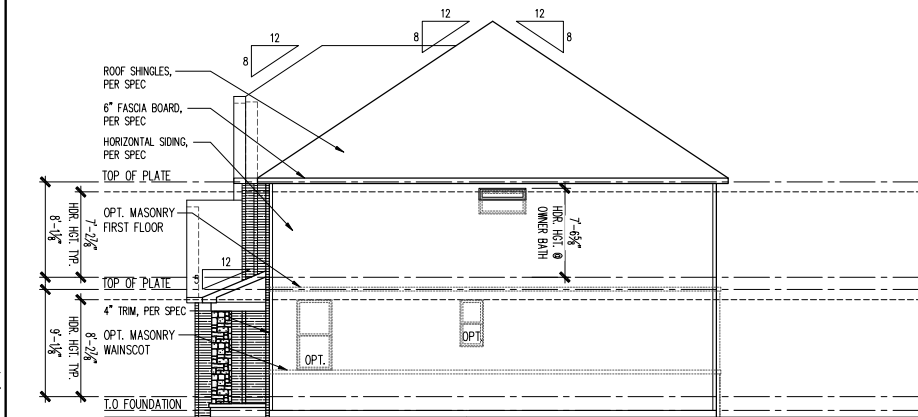


PLOTTED: December 2, 2019 / A3-EC2W-B 2FB.LWG  
 / Sean Lantry / A3-EC2W-B 2FB.LWG

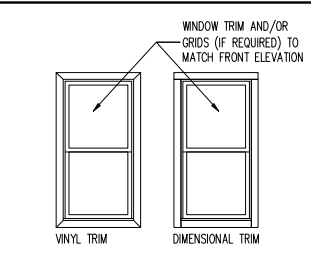


ROOF PLAN  
 SCALE: 1/8" = 1'-0"

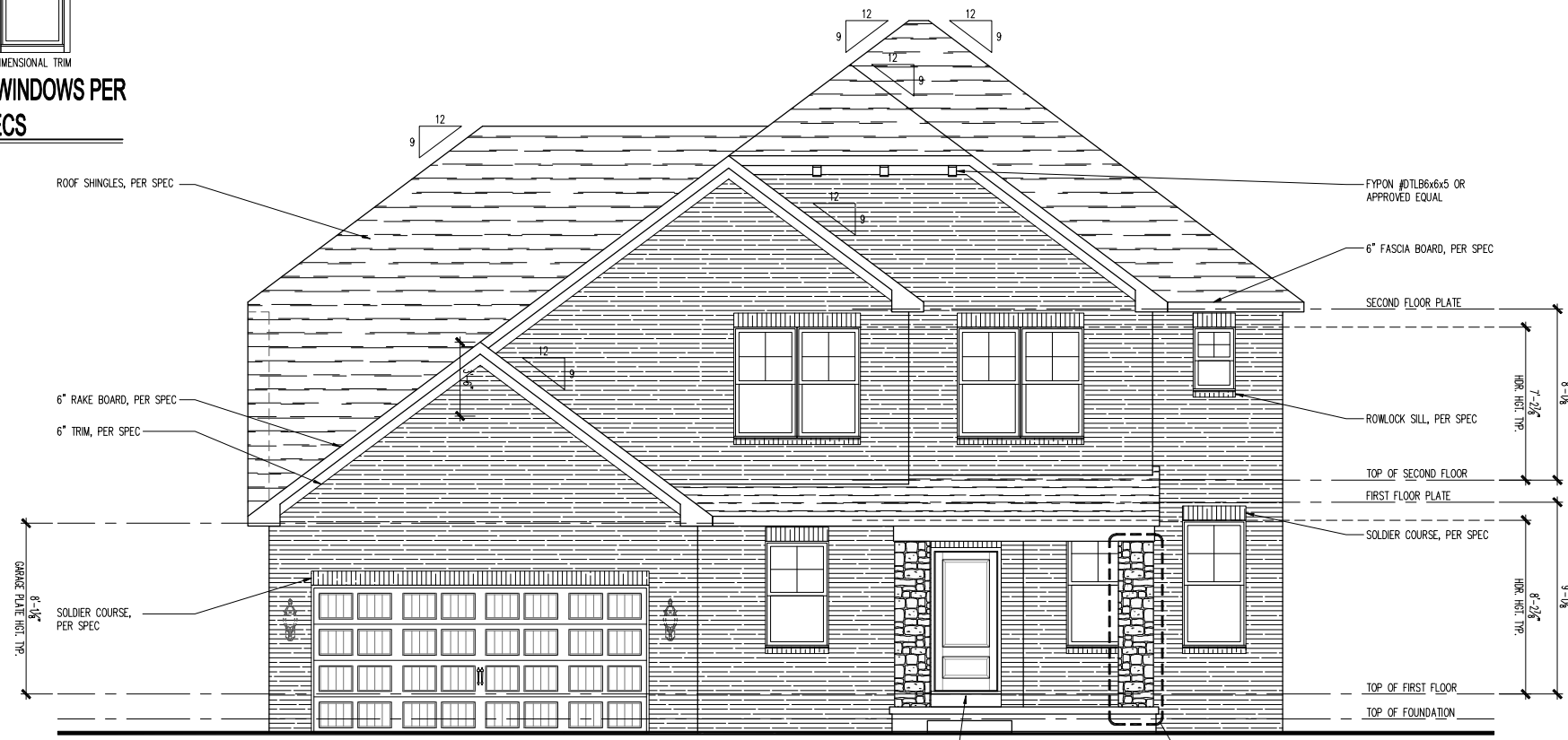
ATTIC VENT SCHEDULE									
VENTILATION REQUIREMENTS AND TYPICAL VALUES FOR ROOF VENT TYPES SHOWN IN TABLE ABOVE. TO DETERMINE REQUIRED VENTILATION, SEE SPECIFICATIONS FOR VENT TYPES USED. VENTILATION REQUIREMENTS ARE BASED ON 1/4" OF TOTAL ROOF AREA. IF OTHER THAN 1/4" OF TOTAL ROOF AREA IS USED, CALCULATE REQUIRED VENTILATION AS: (1/4" OF TOTAL ROOF AREA) X (1/4" OF TOTAL ROOF AREA) = REQUIRED VENTILATION.									
Euro Country 2W-B									
VENT TYPE	ROOF AREA "A"	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	AT / NEAR RIDGE	AT / NEAR EAVE	AT / NEAR RIDGE	AT / NEAR EAVE	AT / NEAR EAVE
HIGH-POT VENT ONLY	5.30	2.88	5.81	43.75	4	0	0	0	43.75
AT EAVE	2.88	2.88	5.81	43.75	0	0	0	0	43.75
TOTAL	8.18	5.76	5.81	100.00					
HIGH-POT VENT ONLY	5.30	2.88	0.00	0.00	0	0	0	0	0.00
AT EAVE	2.88	2.88	0.00	0.00	0	0	0	0	0.00
TOTAL	8.18	5.76	0.00	0.00	0	0	0	0	0.00
ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE									
VENT TYPE	ROOF AREA "B"	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	AT / NEAR RIDGE	AT / NEAR EAVE	AT / NEAR RIDGE	AT / NEAR EAVE	AT / NEAR EAVE
HIGH-POT VENT ONLY	0.33	0.42	0.42	46.88	1	0	0	0	46.88
AT EAVE	0.33	0.42	0.42	46.88	0	0	0	0	46.88
TOTAL	0.66	0.84	0.84	100.00					
HIGH-POT VENT ONLY	0.33	0.42	0.00	0.00	0	0	0	0	0.00
AT EAVE	0.33	0.42	0.00	0.00	0	0	0	0	0.00
TOTAL	0.66	0.84	0.00	0.00	0	0	0	0	0.00
ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE									



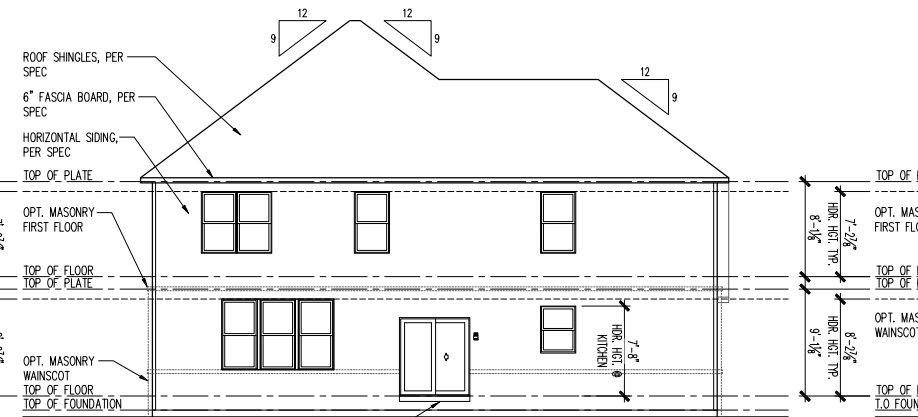
RIGHT ELEVATION  
 SCALE: 1/8" = 1'-0"



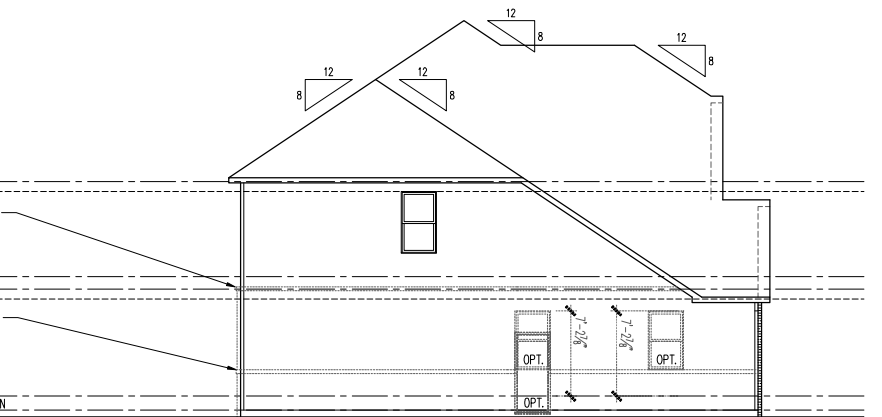
SIDE AND REAR WINDOWS PER  
 COMMUNITY SPECS  
 SCALE: 1/4" = 1'-0"



FRONT ELEVATION  
 SCALE: 1/4" = 1'-0"



REAR ELEVATION  
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION  
 SCALE: 1/8" = 1'-0"

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Midwest Zone Office  
 1900 Golf Road - Suite 300  
 Schaumburg, Illinois 60173



Front, Side and Rear Elevations  
 2 Car Front Entry  
 Euro Country 2W-B

PRODUCT MANAGER	Rick Starkey
INITIAL RELEASE	DATE: 01/18/2019
REV#	DATE/DESCRIPTION
1	01/18/2019
2	PLAN REFRESH
3	11/27/2019
4	PCR REVISIONS

GARAGE HANDING  
 Single Family

SPECIFICATION LEVEL

PLAN NAME  
 Greenfield  
 NPC CHILD NUMBER  
 1850.302

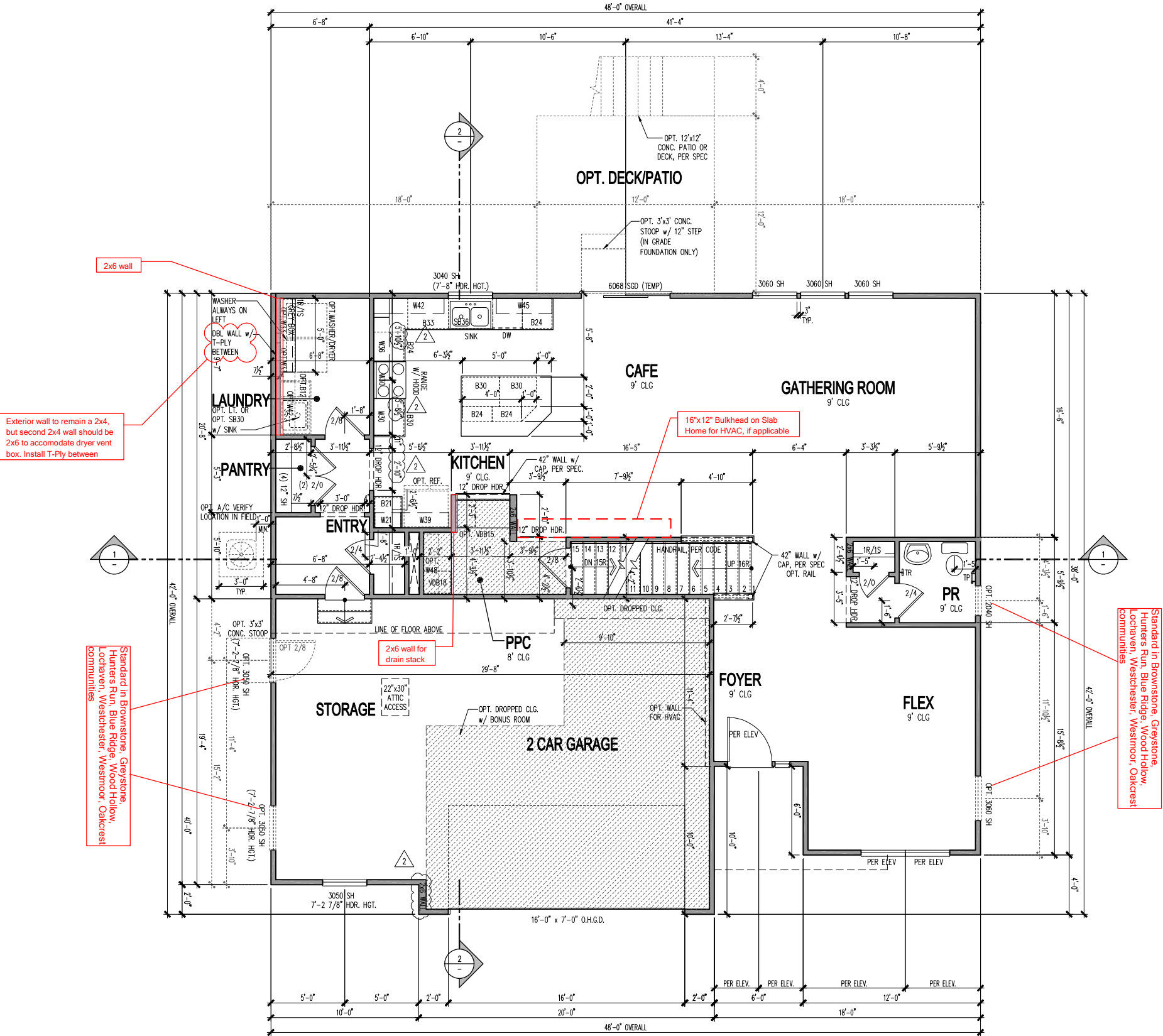
SHEET  
 A3-EC2W-B  
 2FB.1



FLOORPLAN NOTES

GENERAL SPECIFICATIONS

1. ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE.
2. ALL STUDS AT EXTERIOR AND INTERIOR WALLS SHALL BE 2x4 UNLESS OTHERWISE NOTED.
3. ALL STUDS AT EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE FRAMED AT 16" O.C. UNLESS NOTED OTHERWISE.
4. ALL NON-BEARING WALLS, OTHER THAN IN THE KITCHEN AND PLANNING CENTERS, TO BE 2x4 STUDS AT 24" O.C. UNLESS OTHERWISE NOTED OR RESTRICTED BY LOCAL CODES OR ORDINANCES. KITCHEN AND PLANNING CENTER WALLS WHERE WALL CABINETS ARE TO BE HUNG SHALL BE FRAMED AT 16" O.C.
5. PROVIDE DOUBLE 2x TOP PLATES AT ALL LOAD BEARING WALLS.
6. PROVIDE SINGLE TOP PLATE AT ALL INTERIOR NON-LOADING BEARING WALLS.
7. PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
8. PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
9. PROVIDE 1/2" DRYWALL AT WALLS, CEILING AND UNDERSIDE OF STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
10. ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
11. ALL BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT NOT LESS THAN 72" ABOVE THE FLOOR PER THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
12. PROVIDE THERMO-PLY SHEATHING AND BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS SURROUNDING TUBS AND SHOWERS.
13. ALL REQUIRED GUARDRAILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS.
14. ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
15. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM MUST HAVE AT LEAST ONE EMERGENCY ESCAPE OR RESCUE OPENING IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. WHERE THE BASEMENT CONTAINS 1 OR MORE SLEEPING ROOMS, EMERGENCY ESCAPE OR RESCUE OPENINGS SHALL BE REQUIRED IN EACH SLEEPING ROOM. THE EMERGENCY ESCAPE OR RESCUE OPENING SHALL HAVE A CLEAR 5.7 SQUARE FEET OF OPEN AREA WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR OR 5.0 SQUARE FEET OF OPEN AREA FOR GRADE-LEVEL WINDOWS. THE CLEAR OPENING SHALL A MINIMUM OF 24" OF OPENING HEIGHT AND 20" OPENING WIDTH. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
16. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES.



FIRST FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

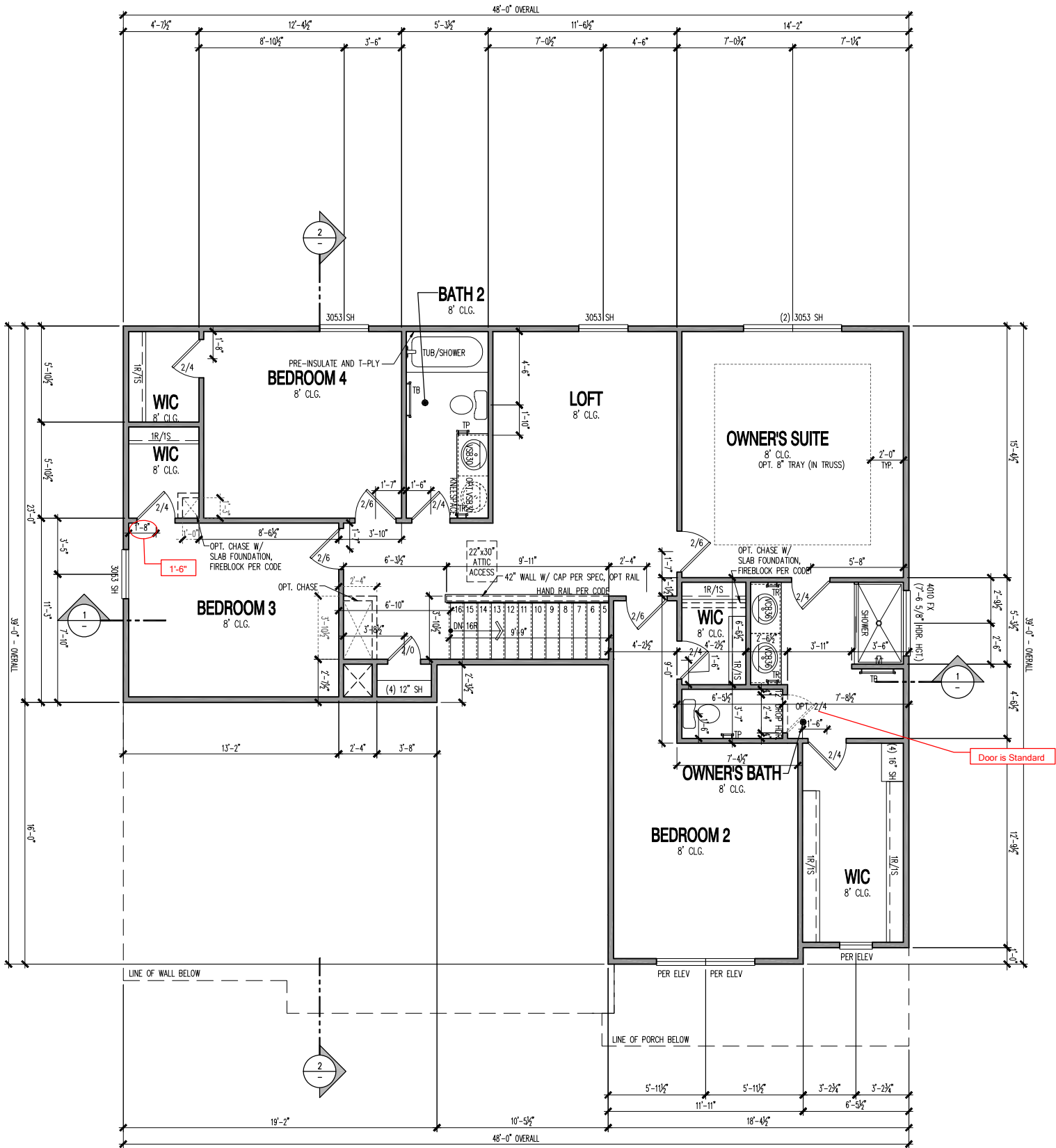
PRODUCT MANAGER	Rick Starkey
INITIAL RELEASE	
DATE:	01/18/2019
REV#	DATE/DESCRIPTION
1	01/18/2019
2	PLAN REFRESH
3	11/27/2019
4	PCR REVISIONS
5	
6	
7	
8	
9	
10	



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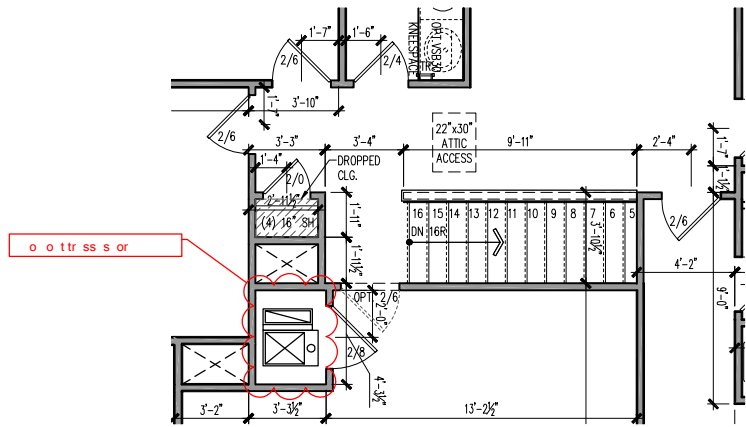


SECOND FLOOR PLAN - 4\"

SCALE: 1/4\"

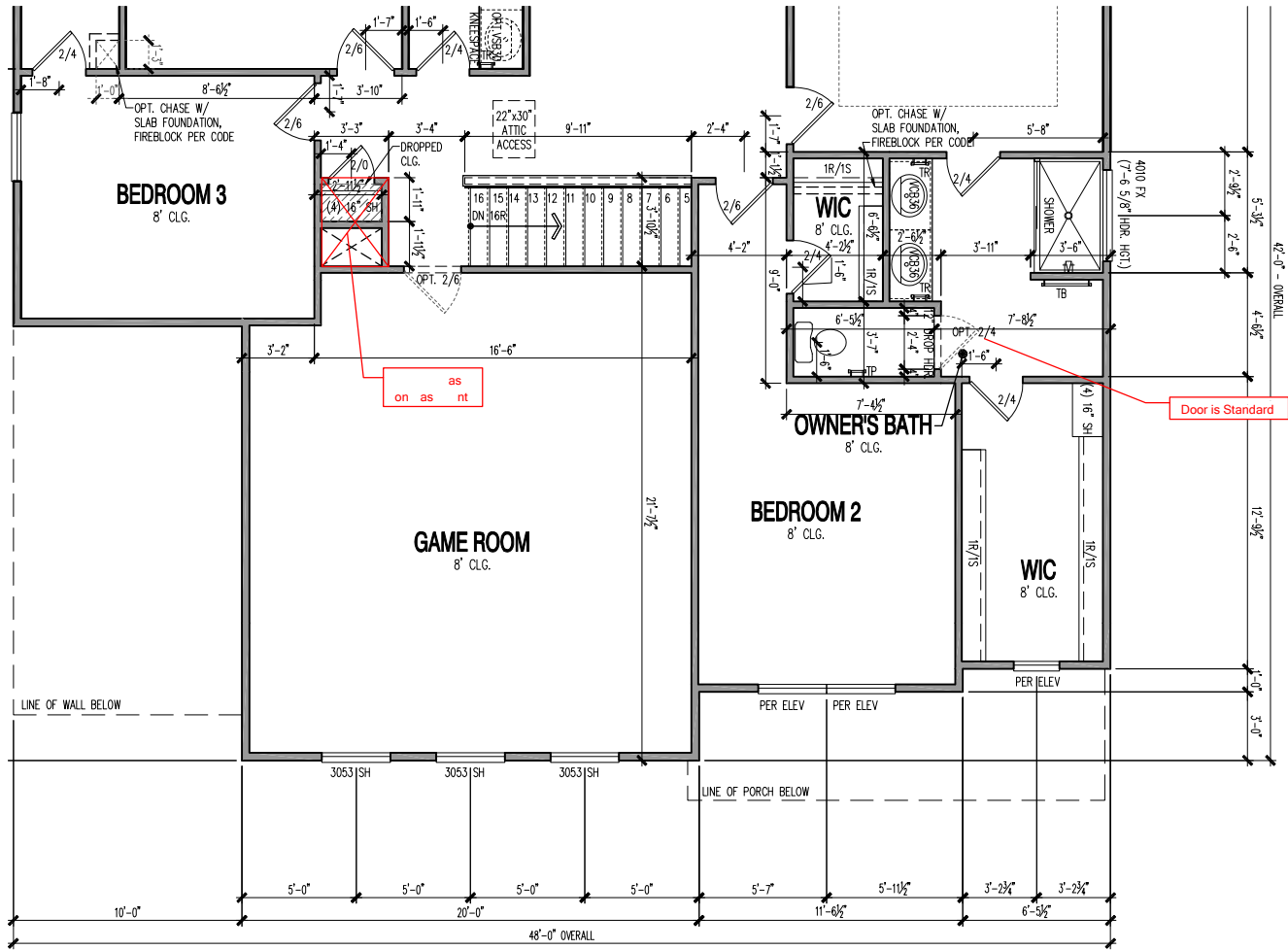
PRODUCT MANAGER Rick Starkey	
INITIAL RELEASE	
DATE: 01/18/2019	
REV#	DATE/DESCRIPTION
1	01/18/2019
2	PLAN REFRESH
3	11/27/2019
4	PCR REVISIONS
5	
6	
7	
8	
9	
10	





HVAC AT SLAB CONDITION w/ GAME ROOM OPTION

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN - 4" EXTERIOR WALLS - GAME ROOM OPTION

SCALE: 1/4" = 1'-0"