

THIS INSTRUMENT PREPARED BY:

KRISTOPHER K. EICHHORN
HWC ENGINEERING
135 N. PENNSYLVANIA STREET, SUITE 2800
INDIANAPOLIS, INDIANA 46204
PHONE: (317) 347-3663

DEVELOPED BY:
LENNAR HOMES OF INDIANA, INC.
9025 NORTH RIVER ROAD, SUITE 100
INDIANAPOLIS, IN 46240
PHONE: (317) 659-3200

McCORD POINTE SECTION 4

SECONDARY PLAT

TOWN OF McCORDSVILLE

VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: _____
CABINET: _____
SLIDE: _____

ZONED McCORD POINTE AMENDED PUD ORDINANCE NO. 101017B, AN ORDINANCE AMENDING THE TOWN OF McCORDSVILLE ZONING ORDINANCE NO. 121410, AS AMENDED.

DEVELOPMENT STANDARDS

DEVELOPMENT STANDARDS	AREA "B"
MAXIMUM NUMBER OF LOTS	135
MINIMUM LOT AREA	9,000 SQ. FT
MINIMUM LOT WIDTH	70
AT BUILDING LINE	25 FEET
MINIMUM FRONT YARD SETBACK	7.5 FEET
MINIMUM SIDE YARD SETBACK	25 FEET
MINIMUM REAR YARD SETBACK	1,500 SF (SINGLE STORY)
MINIMUM LIVABLE FLOOR AREA	1,800 SF (MULTI STORY)
MIN. GROUND FLOOR LIVING AREA	900 SF (MULTI STORY)
MAXIMUM LOT COVERAGE	40%
MAXIMUM HEIGHT - PRINCIPAL	35 FEET

McCORD POINTE SECTION 1B
INST. #201901878

SHEET 3



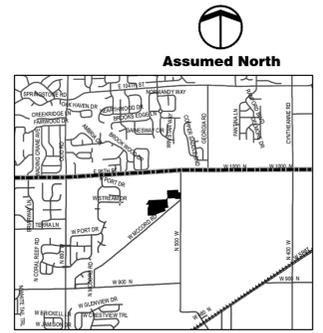
McCORD POINTE SECTION 2

Site Map

SCALE: 1" = 200'

Curve Table

Curve #	Length	Radius	Chord Length	Chord Bearing	Delta
C-1	31.42'	20.00'	28.28'	S45°13'35"W	90°00'00"
C-2	31.42'	20.00'	28.28'	N44°46'25"W	90°00'00"
C-3	193.21'	123.00'	173.95'	S44°46'22"E	90°00'07"
C-4	235.62'	150.00'	212.14'	S44°46'22"E	90°00'07"
C-5	61.20'	177.00'	60.90'	S79°52'04"E	19°48'43"
C-6	61.20'	177.00'	60.90'	S09°40'40"E	19°48'43"
C-7	43.51'	50.00'	42.15'	N05°20'40"E	49°51'21"
C-8	130.98'	50.00'	96.61'	S44°46'22"E	150°05'25"
C-9	43.51'	50.00'	42.15'	S85°06'37"W	49°51'21"
C-10	27.59'	123.00'	27.53'	N06°11'51"W	12°51'05"
C-11	33.64'	150.00'	33.57'	N06°11'51"W	12°51'05"
C-12	39.70'	177.00'	39.62'	N06°11'51"W	12°51'05"
C-13	31.42'	20.00'	28.28'	N57°37'24"W	90°00'02"
C-14	32.76'	20.00'	29.22'	S34°18'11"W	93°51'07"
C-15	61.24'	273.00'	61.11'	N83°48'08"E	12°51'08"
C-16	67.29'	300.00'	67.15'	N83°48'08"E	12°51'07"
C-17	73.35'	327.00'	73.20'	N83°48'08"E	12°51'08"
C-18	25.47'	273.00'	25.46'	S83°54'06"W	5°20'43"
C-19	48.16'	300.00'	48.11'	S81°58'31"W	9°11'52"
C-20	52.50'	327.00'	52.44'	S81°58'31"W	9°11'53"
C-21	43.57'	173.00'	43.45'	N79°21'36"E	14°25'42"
C-22	80.27'	200.00'	79.73'	N75°04'34"E	22°59'47"
C-23	73.91'	227.00'	73.59'	N77°14'47"E	18°39'20"
C-24	31.43'	50.00'	30.91'	S85°55'31"W	36°00'49"
C-25	40.98'	50.00'	39.85'	N48°39'48"E	46°57'54"
C-26	225.80'	50.00'	77.30'	N25°26'36"W	258°45'05"



Vicinity Map

Not to Scale



Assumed North

Scale: 1" = 200'

SEE SHEET 1 FOR CURVE TABLE
SEE SHEET 4 FOR LAND DESCRIPTION

Kristopher K. Eichhorn
Professional Surveyor No. 21000230



SHEET 1 OF 4

THIS INSTRUMENT PREPARED BY:

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McCORD POINTE SECTION 4

SECONDARY PLAT

TOWN OF McCORDSVILLE

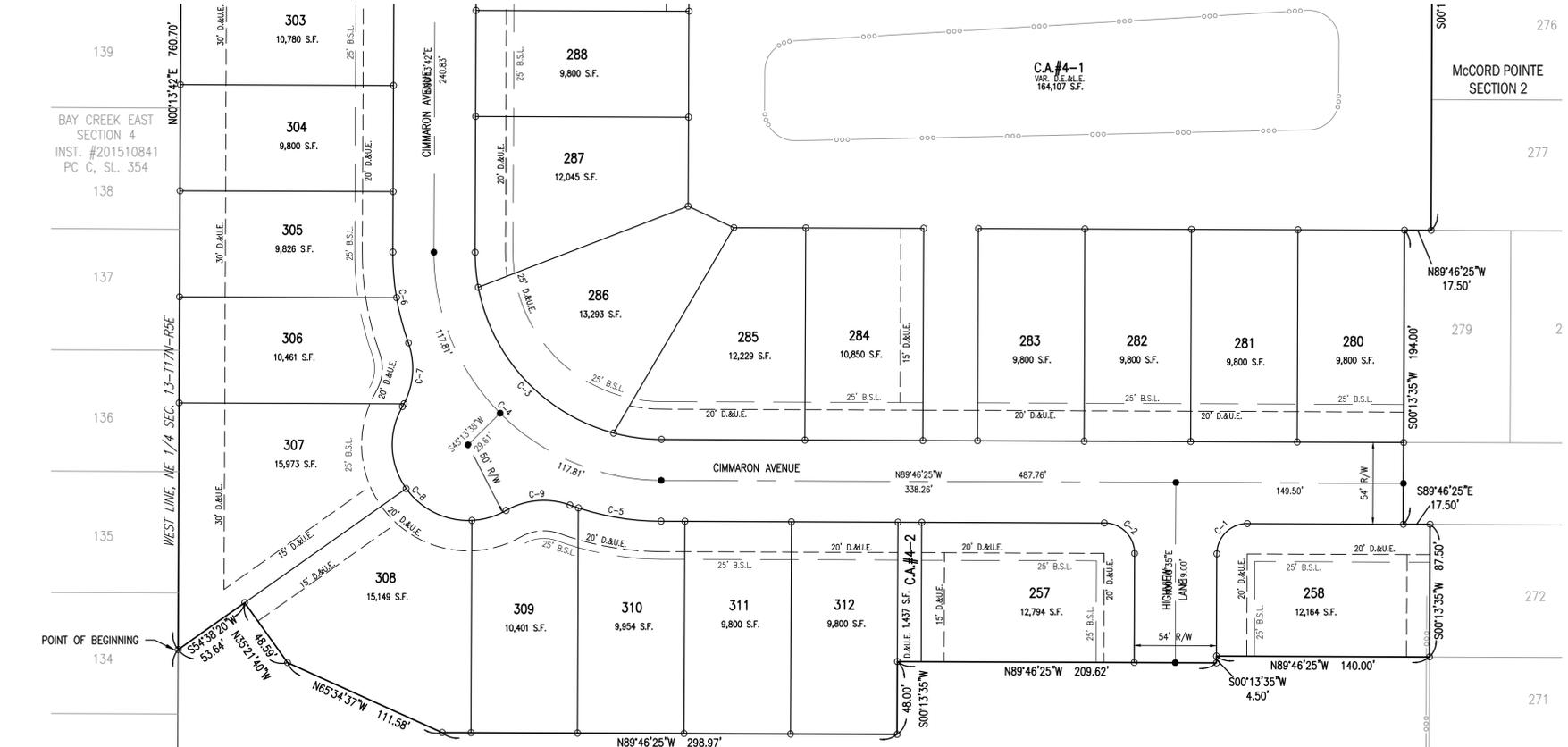
VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: _____
CABINET: _____
SLIDE: _____

Assumed North

Scale: 1" = 50'

FOR CONTINUATION SEE SHEET 3 OF 4



LEGEND

25	LOT NUMBER
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.D.&U.E.	SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
R.D.E.	REGULATED DRAIN EASEMENT
L.E.	LANDSCAPE EASEMENT
B.S.L.	BUILDING SETBACK LINE
R/W	RIGHT OF WAY
C.A.	COMMON AREA
S.F.	SQUARE FEET
AC	ACRES
R	RADIUS
N.A.E.	NON ACCESS EASEMENT
M.L.A.G.	MINIMUM LOWEST ADJACENT GRADE STREET ADDRESS

LEGEND

---	RIGHT-OF-WAY LINE
---	LOT LINE
---	BOUNDARY LINE
---	EASEMENT LINE
---	SETBACK LINE
---	CENTERLINE
---	SECTION LINE

- #### SUBDIVISION MONUMENTS
- DENOTES A 5/8" DIA. ALUMINUM MONUMENT 6" LONG WITH 1-1/2" DIA. ALUMINUM CAP STAMPED "HWC ENGINEERING FIRM #0114" SET FLUSH WITH THE FINISHED STREET SURFACE
 - DENOTES A 5/8" REBAR 30" LONG WITH CAP STAMPED "HWC ENGINEERING FIRM #0114" TO BE SET AT LOT CORNERS, INCLUDING BEGINNING AND ENDING OF CURVES AND THE INTERSECTION OF LINES.
 - ⊠ DENOTES 4"x4" CONCRETE MONUMENT SET VERTICALLY IN PLACE WITH A 5/8" REBAR WITH CAP STAMPED "HWC ENGINEERING FIRM #0114" SET FLUSH
 - DENOTES FOUND 5/8" REBAR 30" LONG WITH CAP STAMPED "S&A FIRM #0008"
 - ⊠ DENOTES FOUND 4"x4" CONCRETE MONUMENT WITH A CROSS CAST IN THE TOP, FLUSH WITH GRADE

SEE SHEET 1 FOR CURVE TABLE
SEE SHEET 4 FOR LAND DESCRIPTION

Kristopher K. Eichhorn
Professional Surveyor No. 21000230



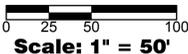
SHEET 2 OF 4

THIS INSTRUMENT PREPARED BY:

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Assumed North



Scale: 1" = 50'

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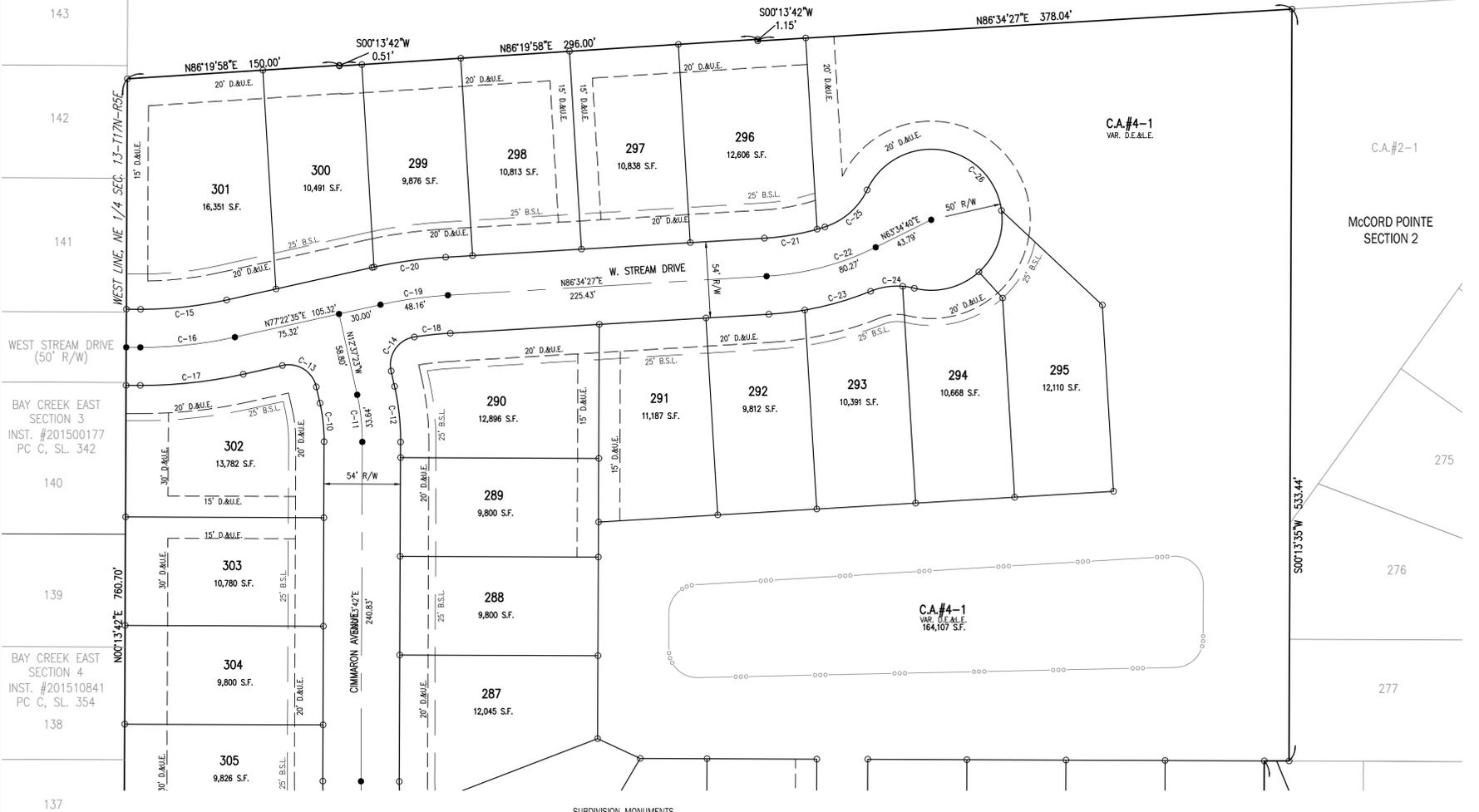
McCORD POINTE SECTION 4

SECONDARY PLAT

TOWN OF McCORDSVILLE

VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: _____
CABINET: _____
SLIDE: _____



LEGEND

RIGHT-OF-WAY LINE	25' D.&U.E.
LOT LINE	D.E.
BOUNDARY LINE	D.&U.E.
EASEMENT LINE	S.S.D.&U.E.
SETBACK LINE	R.D.E.
CENTERLINE	L.E.
SECTION LINE	B.S.S.L.

SEE SHEET 1 FOR CURVE TABLE
SEE SHEET 4 FOR LAND DESCRIPTION

LEGEND

25	LOT NUMBER
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.D.&U.E.	SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
R.D.E.	REGULATED DRAIN EASEMENT
L.E.	LANDSCAPE EASEMENT
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AC	ACRES
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N.A.E.	NON ACCESS EASEMENT
M.L.A.G.	MINIMUM LOWEST ADJACENT GRADE STREET ADDRESS

SUBDIVISION MONUMENTS

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- ⊠ DENOTES FOUND 4"x4" CONCRETE MONUMENT WITH A CROSS CAST IN THE TOP, FLUSH WITH GRADE

FOR CONTINUATION SEE SHEET 2 OF 4

Kristopher K. Eichhorn
Professional Surveyor No. 21000230



SHEET 3 OF 4

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Assumed North



Scale: 1" = 50'

DEVELOPED BY:
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PHONE: (317) 659-3200

McCCORD POINTE SECTION 4

SECONDARY PLAT

TOWN OF McCCORDSVILLE

VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: _____
CABINET: _____
SLIDE: _____

I, the undersigned Registered Land Surveyor, hereby certify that the included plot correctly represents a subdivision of part of the Northeast Quarter of Section 13, Township 17 North, Range 5 East of the Second Principal Meridian, Vernon Township, Hancock County, Indiana being more particularly described as follows:

COMMENCING at the southwest corner of said Quarter Section, said corner also being the southeast corner of Bay Creek East, Section 5, per plat recorded in Plat Cabinet C, Slide 378 as Instrument Number 201610685 in the Office of the Recorder of Hancock County, Indiana; thence North 00 degrees 13 minutes 42 seconds West (assumed bearing per survey recorded as Instrument Number 201805353 in said Recorder's Office) along a west line of said quarter section a distance of 727.94 feet to the POINT OF BEGINNING; thence continuing North 00 degrees 13 minutes 42 seconds East along said west line a distance of 760.70 feet; thence North 86 degrees 19 minutes 58 seconds East a distance of 150.00 feet; thence South 00 degrees 13 minutes 42 seconds West a distance of 0.51 feet; thence North 86 degrees 19 minutes 58 seconds East a distance of 296.00 feet; thence South 00 degrees 13 minutes 42 seconds West a distance of 1.15 feet; thence North 86 degrees 34 minutes 27 seconds East a distance of 378.04 feet to a northwest corner of McCord Pointe, Section 2 and the following five (5) courses are along the westerly lines of said McCord Pointe, Section 2; (1) thence North 00 degrees 13 minutes 35 seconds West a distance of 533.44 feet; (2) thence North 89 degrees 46 minutes 25 seconds West a distance of 17.50 feet; (3) thence South 00 degrees 13 minutes 35 seconds West a distance of 194.00 feet; (4) thence South 89 degrees 46 minutes 25 seconds East a distance of 17.50 feet; (5) thence South 00 degrees 13 minutes 35 seconds West a distance of 87.50 feet; thence North 89 degrees 46 minutes 25 seconds West a distance of 140.00 feet; thence South 00 degrees 13 minutes 35 seconds West a distance of 4.50 feet; thence North 89 degrees 46 minutes 25 seconds West a distance of 209.62 feet; thence South 00 degrees 13 minutes 35 seconds West a distance of 48.00 feet; thence North 89 degrees 46 minutes 25 seconds West a distance of 298.97 feet; thence North 65 degrees 34 minutes 37 seconds West a distance of 111.58 feet; thence North 35 degrees 21 minutes 40 seconds West a distance of 48.59 feet; thence South 54 degrees 38 minutes 20 seconds West a distance of 53.64 feet to the POINT OF BEGINNING, containing 15,239 acres, more or less.

This subdivision consists of 35 lots numbered 257-258 and 280-312, all inclusive, and 2 Common Areas denoted as CA #4-1 and CA #4-2.

Cross-Reference is hereby made to a survey plat prepared by Stoepelwerth & Associates, Inc. in accordance with Title 865, Article 1, Chapter 12 of the Indiana Administrative Code, recorded as Instrument Number 201805353 in the Office of the Recorder of Hancock County, Indiana.

I further certify that I am a Registered Land Surveyor, licensed in compliance with the laws of the State of Indiana and that the within plat represents a subdivision of the lands surveyed within the cross referenced survey plat, and that to the best of my knowledge and belief there has been no change from the matters of survey revealed by the cross referenced survey on any lines that are common with the new subdivision.

Witness by signature this ____ day of _____, 20 ____.

ACCEPTANCE OF DEED OF DEDICATION

We, the undersigned Lennar Homes of Indiana, Inc., a Delaware Corporation, owners of the real estate shown and described on the plat herein and recorded in the Office of the Recorder of Hancock County, Indiana, do hereby lay off, plat and subdivide, said real estate in accordance with the within plat. We further certify that this plat is made and submitted with our free consent and desires.

This subdivision shall be known and designated as McCord Pointe, Section 4. All streets shown and not heretofore dedicated are hereby dedicated to the public.

Dedicated right-of-way in this subdivision consists of 3.031 acres and 2,430 lineal feet as measured along the centerline of the road.

Title to the foregoing real estate is subject to a certain Declaration of Covenants, Conditions and Restrictions for McCord Pointe, recorded as Instrument Number 201900084 in the Office of the Recorder of Hancock County, Indiana, and amended by Instrument Number 201903202 in said Recorder's Office, as the same may be amended or supplemented. Such Declaration and the Covenants and Restrictions set forth therein run with the land described herein and are incorporated herein by reference. Each owner of a lot depicted on this plat shall take title to such lot subject to the terms and conditions of the Declaration.

Front yard building setback lines are hereby established as shown on this plat, between which lines and the property lines of the street, there shall be erected or maintained no building or structure.

A perpetual utility easement is hereby granted to any private or public utility or municipal department, their successors and assigns, within the area shown on the plat and marked "Utility Easement", to install, lay, construct, renew, operate, maintain and remove conduits, cables, pipes, poles and wires, overhead and underground, with all necessary braces, guys, anchors and other equipment for the purpose of serving the subdivision and other property with telephone, internet, cable tv, electric and gas, sewer and water service as a part of the respective utility systems; also is granted (subject to the prior rights of the public therein or other governing codes and ordinances) the right to use the streets and lots with aerial service wires to serve adjacent lots and street lights, the right to cut down and remove or trim and keep trimmed any trees or shrubs that interfere or threaten to interfere with any of the said private or public utility equipment, and the right is hereby granted to enter upon the lots at all times for all of the purposes aforesaid. No permanent structures, fences, or trees shall be placed on said area as shown on the plat and marked "Utility Easement", but same may be used for gardens, shrubs, landscaping and other purposes that do not then or later interfere with the aforesaid user or the rights herein granted.

Tree Conservation Easement - A tree conservation easement is shown on this plat an abbreviated as "T.C.E.". Within the tree conservation area, no trees with a diameter at breast height ("DBH") in excess of six inches (6") or more (the "Protected Trees") shall be removed unless the tree is damaged, diseased, dead, or is to be removed in order to: (1) comply with the safety requirements of any governmental agency; or (2) to accommodate the installation of drainage utilities, street connections, walking path or other infrastructure. If a Protected Tree is damaged or otherwise removed by the developer or builder, except as permitted to be removed as listed above, then the developer or builder shall reestablish the Protected Tree with a tree or trees of combined equal or greater DBH subject to the availability of space for their healthy growth in the tree conservation area.

In addition, this Deed shall dedicate to the Town of McCordsville, Indiana, any and all sewer infrastructure installed for, by or on behalf of the undersigned, said infrastructure to include but not be limited to the sewer collection system, force main, lift station, or any other component part of the sewer system which serves the subject subdivision.

The right to enforce these provisions by injunction, together with the right to cause the removal, by due process of law, of any structure or part thereof erected, or maintained in violation hereof, is hereby dedicated to the Town of McCordsville, Indiana, its assigns or designated agent or representative.

CERTIFICATE OF OWNERSHIP

We, Lennar Homes of Indiana, Inc., do hereby certify that we are the owner of the property described in the above caption and that as such owner it has caused the said above described property to be surveyed and subdivided as shown in the herein drawn plat, as its free and voluntary act and deed.

Owner/Developer
Lennar Homes of Indiana, Inc., a Delaware Corporation
By: _____
Keith Lash, Vice President Land Acquisition and Development

State of Indiana)
) SS
County of Hamilton)

Before me, the undersigned, a Notary Public in and for said County and State, personally appeared Keith Lash, Vice President Land Acquisition and Development, Lennar Homes of Indiana, Inc., and acknowledged the execution of this instrument as his voluntary act and deed and affixed his signature thereto.

Witness my signature and seal this ____ day of _____, 20 ____.

Notary Public
Printed Name

County of Residence: _____
My commission expires: _____

DRAINAGE COVENANT

Channels, tile drains 8-inch or larger, inlets and outlets of detention and retention ponds, and appurtenances thereto within designated drain easements are extensions of the McCordsville's stormwater drainage system and are the responsibility of the McCordsville Drainage Board and/or the McCordsville Public Works Commissioner. Drainage swales and tile drains less than 8-inch in inside diameter shall be the responsibility of the property owner or homeowner association.

A petition addressed to the McCordsville Drainage Board has been filed in duplicate with the McCordsville Town Engineer, requesting that the subdivision's storm drainage system and its easements be accepted into the regulated drain system. Channels, tile drains 8-inch or larger, inlets and outlets of detention and retention ponds, and appurtenances thereto within designated drain easements are extensions of the McCordsville's stormwater drainage system and are the responsibility of the McCordsville Drainage Board and/or the McCordsville Public Works Commissioner. Drainage swales and tile drains less than 8-inch in inside diameter shall be the responsibility of the property owner or homeowner association. The storm drainage system and its easements that are accepted in to the regulated drainage system are delineated on the plat as Regulated Drainage Easements (RDE's). Regulated Drainage Easements are stormwater easements and drainage rights of way that are hereby dedicated to the public and to McCordsville, Indiana, for the sole and exclusive purpose of controlling surface water and/or for installation, operation, and maintenance of storm sewers and tile drains as defined in McCordsville Stormwater Management Ordinance. These drainage easements are established under authority of the Indiana Drainage Code and the said Board may exercise powers and duties as provided in said code. All other storm drainage easements have not been accepted into the town's system. All drainage improvements performed relative to the conveyance of Stormwater runoff and the perpetual maintenance thereof, with the latter easements, shall be the responsibility of the owner or homeowner association. The McCordsville Drainage Board assumes no responsibility relative to said improvements or the maintenance thereof. This subdivision contains 0 linear feet of open ditches and 0 feet of subsurface drains that will be included in the Town's Regulated Drainage System.

TOWN APPROVAL

McCORDSVILLE ADVISORY PLAN COMMISSION
This is to certify that this plat has been approved by the McCordsville Advisory Plan Commission
the ____ day of _____, 20____, under the authority provided by:

Signature
Printed Name

REDACTION STATEMENT

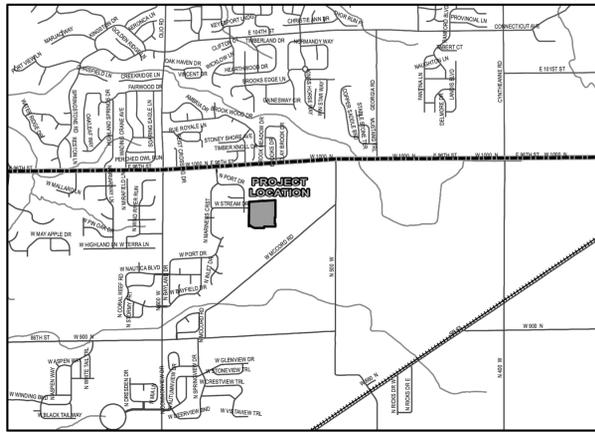
I affirm under the penalties for perjury, that I have taken reasonable care to redact each social security number in this document, unless required by law. Kristopher K. Eichhorn

PUD, COVENANTS & OTHER NOTES

The subject tract is zoned McCord Pointe Amended PUD ORDINANCE No. 101017B and Ordinance amending the Town of McCordsville ZONING ORDINANCE No. 121410, as amended.

SHEET 4 OF 4

File Name: W:\CalAtlantic_Homes\2019-2023-D_Lennar-- McCord_Pointe_Sec 4\Design\CAD\19263D\Cover_Sheet.dwg, Layout: C1.0
 Plot Time: 6:46am
 Plot Date: Dec 12, 2019
 By: heichhorn



LOCATION MAP
SCALE: 1" = 1 MILE

McCORD POINTE SECTION 4

Lennar Homes of Indiana, Inc.

DEVELOPER:
 LENNAR HOMES OF INDIANA, INC.
 BILL BRYANT
 9025 NORTH RIVER ROAD, SUITE 100
 INDIANAPOLIS, INDIANA 46240
 (317) 450-4634

CIVIL ENGINEER and SURVEYOR:
 HWC ENGINEERING
 135 N. PENNSYLVANIA ST., SUITE 2800
 INDIANAPOLIS, IN 46204
 (317) 347-3663
 keichhorn@hwcengineering.com



SOILS MAP
NOT TO SCALE

SOILS LEGEND
 BR BROOKSTON SILTY CLAY LOAM
 CRA CROSBY SILT LOAM, 0 TO 3 PERCENT SLOPES

REVISIONS		
DATE	DESCRIPTION	BY



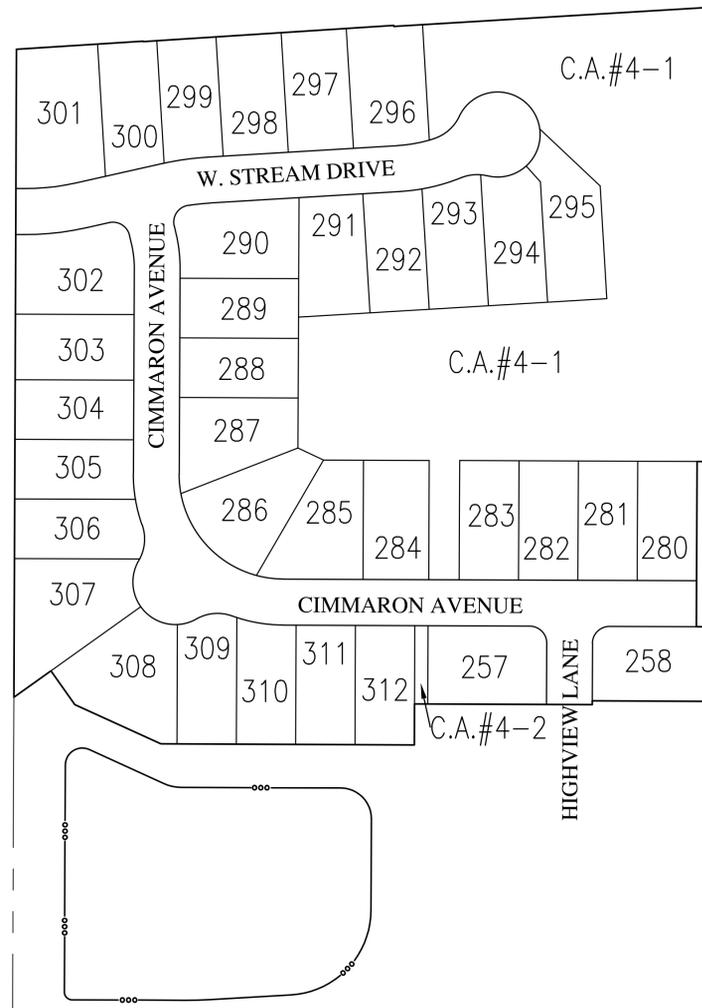
COMMON AREAS	
C.A.#4-1	3.77 AC
C.A.#4-2	0.03 AC
TOTAL	3.80 AC

SITE DATA	
LOTS:	35
DISTURBED AREA:	15.239 AC
START CONSTRUCTION:	MARCH 2020
END CONSTRUCTION:	MARCH 2025

LINEAR FOOTAGE OF STREETS	
CIMMARON AVENUE	606 LF
HIGHVIEW LANE	119 LF
DRYDEN WAY	451 LF
LAKEHURST COURT	580 LF
TOTAL	1,756 LF

ZONED McCORD POINTE AMENDED PUD ORDINANCE NO. 101017B, AN ORDINANCE AMENDING THE TOWN OF MCCORDSVILLE ZONING ORDINANCE NO. 121410, AS AMENDED.

DEVELOPMENT STANDARDS	
MAXIMUM NUMBER OF LOTS	AREA "B" 135
MINIMUM LOT AREA	9,000 SQ. FT
MINIMUM LOT WIDTH	70
AT BUILDING LINE	70
MINIMUM FRONT YARD SETBACK	25 FEET
MINIMUM SIDE YARD SETBACK	7.5 FEET
MINIMUM REAR YARD SETBACK	25 FEET
MINIMUM LIVABLE FLOOR AREA	1,500 SF (SINGLE STORY) 1,800 SF (MULTI STORY)
MIN. GROUND FLOOR LIVING AREA	900 SF (MULTI STORY)
MAXIMUM LOT COVERAGE	40%
MAXIMUM HEIGHT - PRINCIPAL	35 FEET



SITE MAP
SCALE: 1" = 100'

CONTACT INFORMATION:

CITIZENS ENERGY GROUP / CWA AUTHORITY, INC. (WATER) BRAD HOSTETLER 2150 DR. MARTIN LUTHER KING JR. STREET INDIANAPOLIS, INDIANA 46202 P: (317) 927-4351 BHOSTETLER@CITIZENSENERGYGROUP.COM	NINESTAR CONNECT (Electric & Telecom) ERIC MEYER (317) 323-2074 2243 East Main Street Greenfield, Indiana 46140 EMEYER@NINESTARCONNECT.COM	COMCAST MATT STRINGER 5330 E. 65th Street Indianapolis, IN 46220 P: (317) 774-3384 F: (317) 219-5090 matthew_stringer@cable.comcast.com	VECTREN SANDRA CASEY 16000 Allisonville Road Noblesville, Indiana 46061 P: (317) 776-5532 F: (317) 776-5553 Mailing Address: P.O. Box 1700 Noblesville, Indiana 46061 sandra.casey@centerpointenergy.com
MCCORDSVILLE FIRE DEPARTMENT 7580 N Farm Street McCordsville, Indiana 46055 P: (317) 335-9236	TOWN OF MCCORDSVILLE PLANNING AND BUILDING DEPT RYAN CRUM 6280 W 800 N McCordsville, Indiana 46055 P: (317) 335-3604 rcrum@mccordsville.org	TOWN OF MCCORDSVILLE ENGINEERING DEPARTMENT MARK WITSMAN 6280 W 800 N McCordsville, IN 46055 P: (317) 335-3604 mwitsman@mccordsville.org	TOWN OF MCCORDSVILLE PUBLIC WORKS RON CRIDER 6280 W 800 N McCordsville, IN 46055 P: (317) 335-3493 rcrider@mccordsville.org

- PLAN COMMISSION APPROVAL _____
- DRAINAGE APPROVAL _____
- ADDRESS APPROVAL _____
- EROSION CONTROL APPROVAL _____
- COUNTY ENGINEER APPROVAL _____
- COUNTY SANITARIAN APPROVAL _____
- COUNTY COMMISSIONERS APPROVAL _____

SHEET LIST TABLE

Sheet Title	Sheet Description
C1.0	COVER
C1.1-C1.2	DEVELOPMENT PLAN
C1.3-C1.4	PRE-CONSTRUCTION STORMWATER POLLUTION PREVENTION & DEMOLITION PLAN
C1.5-C1.6	ACTIVE CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN
C1.7-C1.8	POST CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN
C1.9-C1.10	EMERGENCY FLOOD ROUTE PLAN
C1.11	MASTER UTILITY PLAN
C1.12-C1.13	SUBSURFACE DRAIN PLAN
C2.0-C2.1	STREET PLAN & PROFILE
C3.0	INTERSECTION & CUL-DE-SAC DETAILS
C3.1	TRAFFIC CONTROL AND LIGHTING PLAN
C4.0-C4.1	SANITARY SEWER PLAN & PROFILE
C6.0-C6.1	STORM SEWER PLAN & PROFILE
C7.0	WATER DISTRIBUTION PLAN
C8.0	STORMWATER POLLUTION PREVENTION NOTES
C8.1-C8.3	STORMWATER POLLUTION PREVENTION DETAILS
C8.4	CONSTRUCTION DETAILS
C8.5	CITIZENS WATER DETAILS

McCORDSVILLE TOWN STANDARDS

SHEET LIST TABLE

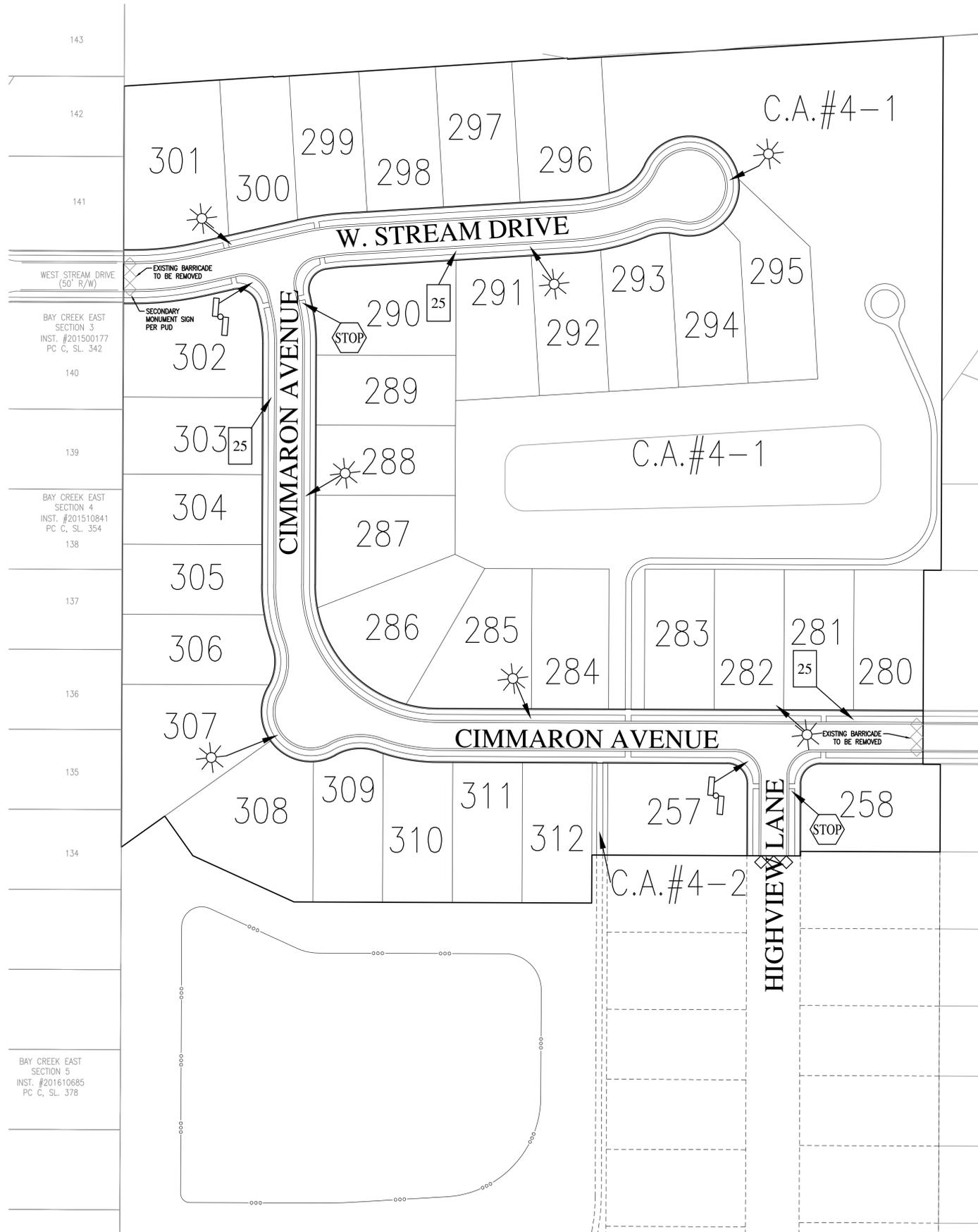
Sheet Title	Sheet Description
1	DIRECTIONS FOR USE & GENERAL NOTES
2	RIGHT-OF-WAY SECTIONS & PAVEMENT SPECIFICATIONS
3	RIGHT-OF-WAY DETAILS
4	UTILITY LOCATION GUIDELINES
5	DRIVE WAY & HANDICAP RAMP DETAILS
6	STORM SEWER STRUCTURE DETAILS
7	STORM SEWER BEDDING DETAILS AND GENERAL NOTES
8	SANITARY SEWER SPECIFICATIONS
9	SANITARY SEWER DETAILS
10	SANITARY SEWER LIFT STATION STANDARDS & GUIDELINES

MCCORD POINTE SECTION 4
 MCCORDSVILLE, INDIANA
 COVER



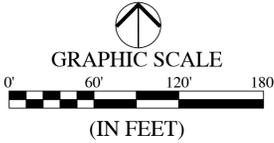
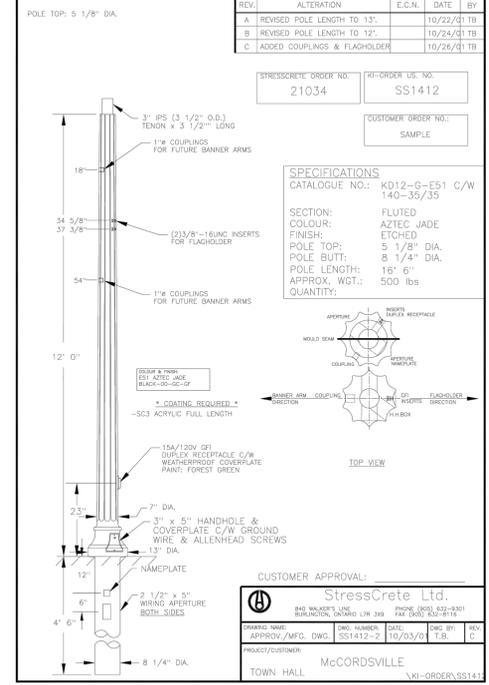
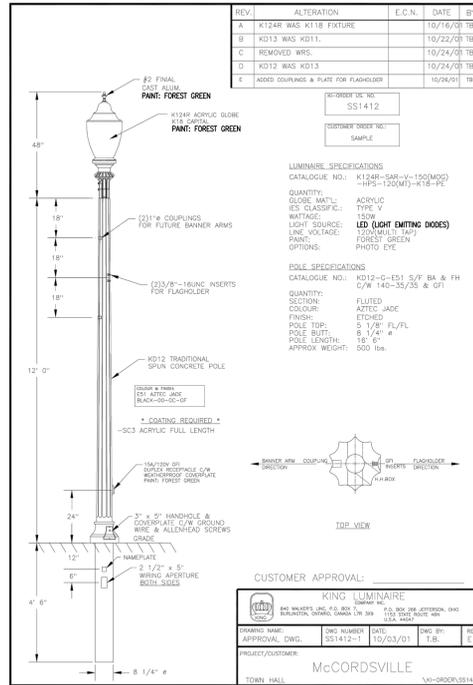
DRAWN BY TD/GM	JOB NUMBER 2019-003-A
CHECKED BY KE	
DATE DECEMBER 11, 2019	SHEET
SCALE AS SHOWN	
C1.0	
COVER	

File Name: W:\Cal\Katie\Homes\2019-263-D Lennar-- McCord Pointe Sec. 4\Design\CAD\19263D.Traffic Control Plan.dwg, Layout: C3.1 Plot Date: Dec. 12, 2019 Plot Time: 7:00am By: keichhorn



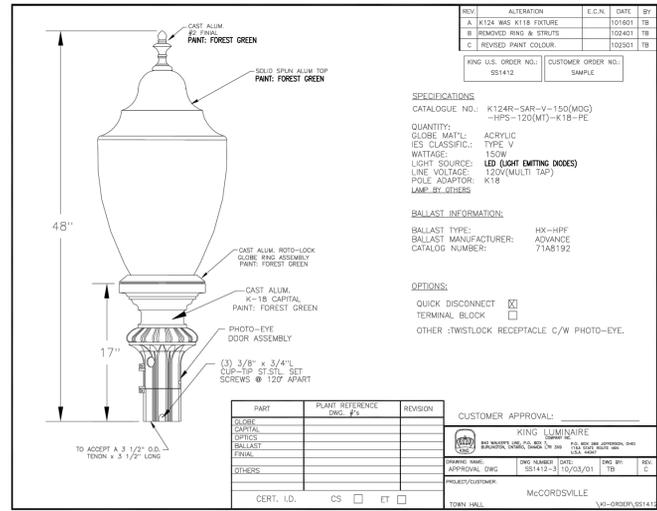
GENERAL NOTES

- LIGHTING, SIGNS, IRRIGATION LINES, ETC. MUST BE CONSTRUCTED TO MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET FROM THE CENTER OF THE SANITARY SEWER FACILITIES.
- STREET LIGHTS ARE REQUIRED TO MATCH EXISTING STREET LIGHTS. TO INCLUDE POLE TYPE, FIXTURE TYPE, HEIGHT OF FIXTURE ETC.
- ALL STREET LIGHTING SHALL BE INSTALLED WITH REFLECTORS OR OTHER SUCH DEVICES OR CONTROLS SO THAT LIGHT IS REFLECTED DOWNWARD TO MITIGATE LIGHT SPILLOVER. ALL STREET LIGHTS ARE TO BE FULL CUT-OFF AND DARK SKY COMPLIANT.



LEGEND:

- | EXISTING | RIGHT-OF-WAY LINE | PROPOSED |
|-------------------------------|-------------------|-------------------------------|
| STOP SIGN | | STOP SIGN |
| SPEED LIMIT SIGN | | SPEED LIMIT SIGN |
| STREET NAME SIGN | | STREET NAME SIGN |
| END OF ROAD MARKER | | END OF ROAD MARKER |
| HIGH POWERED LED STREET LIGHT | | HIGH POWERED LED STREET LIGHT |
- NOTE: ALL STREET LIGHTS TO BE FULL CUT-OFF AND DARK SKY COMPLIANT



REVISIONS

REV.	ALTERATION	E.C.N.	DATE	BY



MCCORD POINTE SECTION 4
MCCORDSVILLE, INDIANA
TRAFFIC CONTROL AND LIGHTING PLAN



DRAWN BY: TD/GM
 CHECKED BY: KE
 DATE: DECEMBER 11, 2019
 SCALE: AS SHOWN
 SHEET:

C3.1
 TRAFFIC CONTROL AND LIGHTING PLAN